



HEPBURN SHIRE COUNCIL
ORDINARY MEETING OF COUNCIL
PUBLIC AGENDA

Tuesday 20 February 2024

Daylesford Town Hall
76 Vincent Street Daylesford

5:30PM

A LIVE STREAM OF THE MEETING CAN BE VIEWED
VIA [COUNCIL'S FACEBOOK PAGE](#)

AGENDA

Tuesday 20 February 2024

Daylesford Town Hall

76 Vincent Street Daylesford

Commencing at 5:30PM

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BRADLEY THOMAS

CHIEF EXECUTIVE OFFICER

Tuesday 20 February 2024

CONDUCTING HYBRID COUNCIL MEETINGS

In the spirit of open, transparent and accountable governance, this meeting will be live-streamed on Council's Facebook page. The meeting will also be recorded and made available on Council's website as soon as practicable after the meeting.

- Council's meeting will be conducted tonight in accordance with:
- The Local Government Act 2020
- The Minister's Good Practice Guideline MGPG-1: Virtual Meetings
- Council's Governance Rules; and
- The Hepburn Shire Council Councillor Code of Conduct.

1 ACKNOWLEDGEMENT OF TRADITIONAL OWNERS

Hepburn Shire Council acknowledges the Dja Dja Wurrung as the Traditional Owners of the lands and waters on which we live and work. On these lands, Djaara have performed age-old ceremonies of celebration, initiation and renewal. We recognise their resilience through dispossession and it is a testament to their continuing culture and tradition, which is strong and thriving.

We also acknowledge the neighbouring Traditional Owners, the Wurundjeri to our South East and the Wadawurrung to our South West and pay our respect to all Aboriginal peoples, their culture, and lore. We acknowledge their living culture and the unique role they play in the life of this region.

2 SAFETY ORIENTATION

Emergency exits and convenience facilities at the venue to be highlighted to members of the public in attendance.

3 OPENING OF MEETING

COUNCILLORS PRESENT:

OFFICERS PRESENT:

STATEMENT OF COMMITMENT

"WE THE COUNCILLORS OF HEPBURN SHIRE
DECLARE THAT WE WILL UNDERTAKE ON EVERY OCCASION
TO CARRY OUT OUR DUTIES IN THE BEST INTERESTS OF THE COMMUNITY

AND THAT OUR CONDUCT SHALL MAINTAIN THE STANDARDS OF THE CODE OF
GOOD GOVERNANCE
SO THAT WE MAY FAITHFULLY REPRESENT AND UPHOLD THE TRUST PLACED IN THIS
COUNCIL BY THE PEOPLE OF HEPBURN SHIRE”

4 APOLOGIES

5 DECLARATIONS OF CONFLICTS OF INTEREST

6 CONFIRMATION OF MINUTES

RECOMMENDATION

That the Minutes of the Ordinary Meeting of Council held on 19 December 2023 (as previously circulated to Councillors) be confirmed.

7 ITEMS OF URGENT BUSINESS

8 COUNCILLOR AND CEO REPORTS

8.1 MAYOR'S REPORT

Councillor Brian Hood, Coliban Ward

8.2 COUNCILLOR REPORTS

Councillor Lesley Hewitt, Birch Ward

Councillor Tessa Halliday, Cameron Ward

Councillor Don Henderson, Creswick Ward

Councillor Tim Drylie, Creswick Ward

Councillor Juliet Simpson, Holcombe Ward

Councillor Jen Bray, Birch Ward

RECOMMENDATION

That Council receives and notes the Mayor's and Councillors' reports.

8.3 CHIEF EXECUTIVE OFFICER'S REPORT

The Chief Executive Officer Report informs Council and the community of current issues, initiatives and projects undertaken across Council.

CHIEF EXECUTIVE OFFICER UPDATE

This is our first Council meeting for 2024. It's hard to believe we are half-way through February already, and it's even harder to believe we now only few months away from the finalisation of this Council term (October 2024). It's going to be a busy year as we finalise lots of projects and actions included in our Council Plan.

There has been plenty happening since our last Council meeting (19 December 2023), and I encourage community members to stay up to date with everything occurring through our social pages (especially Facebook), our corporate website www.hepburn.vic.gov.au, our community engagement portal www.participatehepburn.vic.gov.au, or sign up for one of many e-newsletters especially Hepburn Life.

On 25 January we celebrated the Community Award winners for 2024 and welcomed our newest Australian citizens. Congratulations to our Community Award winners for 2024:

- Joint Citizens of the Year were Neville Cartledge OAM and Pat Tacey
- ChillOut Festival took out the Event of the Year
- Young Citizen of the Year was Alice Newitt (with local band Elysium receiving a Special Commendation)





Pictured L-R: Martha Haylett MP, Mayor Brian Hood, new Australian citizens Youssouf Ouattara and Anton Kraft, Mary-Anne Thomas MP, the Hon Catherine King MP and Gaelle Broad MP.

On Thursday 8 February we hosted the Proactive Farmers Initiative in Creswick. Extreme weather events are becoming more prevalent locally and across the globe and this session was about taking a more proactive approach to farming practices to prepare for and to potentially minimise damage to crops and livestock. A lineup of regarded keynote speakers presented case studies outlining proactive initiatives for local farmers.

In upcoming events, following the success of our first Sustainable Hepburn Day, this informative community event will return on Saturday 16 March at Victoria Park, Daylesford. Clunes Booktown and ChillOut are other notable events taking place within the shire within coming months.

We are excited for the Young Mayors program which will be commencing shortly. Hosted by the Foundation for Young Australians (FYA), a youth-led organisation, the

Young Mayors program provides the chance for youths to make an impact on our local community. Elected by their peers, young council members will work together to define priority action areas. Together, the youth council will serve a 12-24 month term working with Council to implement projects and events and influence decisions that impact their community. They are provided with training, mentoring and money to run local projects and campaigns.

In the coming months our community will also see the release of our Arts and Culture Strategy, five township structure plans, opening of The Mechanics at Trentham, our long-term financial plan and our budget 2024/2025. We are looking forward to 2024.

RECOMMENDATION

That Council receives and notes the Chief Executive Officer's Report for February 2024.

9 PUBLIC PARTICIPATION TIME

This part of the Ordinary Meeting of Council allows for the tabling of petitions by Councillors and Officers and 30 minutes for the purposes of:

- Tabling petitions
- Responding to questions from members of our community
- Members of the community to address Council

Community members are invited to be involved in public participation time in accordance with Council's Governance Rules.

Individuals may submit written questions or requests to address Council to the Chief Executive Officer by 10:00am the day before the Council Meeting.

Some questions of an operational nature may be responded to through usual administrative procedure. Separate forums and Council processes are provided for deputations or for making submissions to Council.

Questions received may be taken on notice but formal responses will be provided to the questioners directly. These responses will also be read out and included within the minutes of the next Ordinary Meeting of Council to make them publicly available to all.

BEHAVIOUR AT COUNCIL MEETINGS

Council supports a welcoming, respectful and safe environment for members of the community to participate at Council Meetings regarding issues that are important to them. Council's Governance Rules sets out guidelines for the Mayor, Councillors, and community members on public participation in meetings. It reinforces the value of diversity in thinking, while being respectful of differing views, and the rights and reputation of others.

Under the Governance Rules, members of the public present at a Council Meeting must not be disruptive during the meeting.

Respectful behaviour includes:

- Being courteous when addressing Council during public participation time and directing all comments through the Chair
- Being quiet during proceedings
- Being respectful towards others present and respecting their right to their own views

Inappropriate behaviour includes:

- Interjecting or taking part in the debate
- Verbal abuse or harassment of a Councillor, member of staff, ratepayer or member of the public
- Threats of violence

9.1 PETITIONS

9.1.1 PETITION - IMPROVE PEDESTRIAN SAFETY AND EASE CROSSING ALBERT STREET DAYLESFORD INTRODUCTION

The Petition, to improve safety and ease crossing Albert Street Daylesford between Bridport and Vincent Streets, was received on the 19 December 2023 and has 26 valid signatures.

The petition reads:

“We representing concerned citizens of Daylesford, urgently petition the Hepburn Shire Council and Victorian Department of Transport Planning for the construction of a safe pedestrian crossing on Albert Street, targeting the Vincent/Albert Street roundabout to Albert Street/Bridport Street intersection. This strategic placement aims to enhance accessibility for vulnerable demographics and children ensuring their safety when accessing crucial amenities like the Daylesford Library. This initiative aligns with the Road Safety Act 1986, Victorians Road Safety Rules 2017, and the Transport Integration Act 2010, emphasizing the need for immediate attention to pedestrian safety and fostering community wellbeing.”

RECOMMENDATION

That Council:

- 1.1.1. Receives and notes the Petition; and,*
- 1.1.2. Refers the request for a safe pedestrian crossing to the Chief Executive Officer and Department of Transport and Planning for consideration.*

9.1.2 PETITION - REQUEST FOR CRESWICK TO LONG POINT WALKING AND CYCLE TRACK INTRODUCTION

The Petition, Creswick to Long Point walking and cycle track was received on the 13 February 2024 and has 30 valid signatures.

The petition reads:

We the undersigned residents support the construction of a gravel walking and cycling track along Creswick-Ascot Road Creswick from Gillies Road to the Township of Creswick to:

- *increase safety of children and adult pedestrians/cycling*
- *increase safety of pedestrians on a busy tip-run route, which also frequents trucks and cars doing over 60km/h despite being a 60km zone.*
- *support healthy active lifestyles and linking residents and tourists to town, schools, kinder, shops, railway station and places of significance e.g. nature reserves.*

RECOMMENDATION

That Council:

- 1.1.1. Receives and notes the Petition;*
- 1.1.2. Refers the Petition for consideration in the development of the Integrated Transport Strategy (formerly the Walking and Cycling Strategy); and,*
- 1.1.3. Advises the head petitioner of this resolution.*

9.2 PUBLIC QUESTIONS

The CEO will read questions received in accordance with Council's Governance Rules and the Mayor will respond on behalf of Council.

9.3 REQUESTS TO ADDRESS COUNCIL

Members of our community who have submitted a request in accordance with Council's Governance Rules will be heard.

10 STATUTORY PLANNING

10.1 PLN23/0120 - 121 RAGLAN STREET DAYLESFORD EXECUTIVE MANAGER DEVELOPMENT

In providing this advice to Council as the Statutory Planner, I Chris Hu have no interests to disclose in this report.

ATTACHMENTS

1. Attachment 1 - Council Officer Clause 53.02 Assessment - 121 Raglan Street Daylesford [**10.1.1** - 4 pages]
2. Attachment 2 - Council Officer Clause 55 Assessment - 121 Raglan Street Daylesford [**10.1.2** - 10 pages]
3. PL N 230120- Redacted Combined Objections - 121 Raglan Street Daylesford - Property 202934 [**10.1.3** - 21 pages]
4. PL N 23 0120 - Redacted Combined Docs - 121 Raglan Street Daylesford - 202934 [**10.1.4** - 94 pages]

EXECUTIVE SUMMARY

This is an application for the construction of two, double storey dwellings at 121 Raglan Street, Daylesford. Approval is also required for the demolition of the existing outbuildings located on the land.

The subject site is located within the Neighbourhood Residential Zone – Schedule 1, and the land is also subject to the Bushfire Management Overlay – Schedule 1, Neighbourhood Character Overlay – Schedule 4, and Environmental Significance Overlay Schedule 1 and Schedule 2.

The subject site consists of two titles and is developed with three outbuildings.

The application was referred externally to the Country Fire Authority, Goulburn Murray Water and Central Highlands Water. The referral authorities have not objected to the application.

The application was referred internally to Council's Engineering team who have not raised concerns with the proposal.

Public notification of the application was required and, as a result of notification, seven objections have been lodged with Council. The objectors have raised the following concerns:

- Neighbourhood character, including bulk, height, spacing;
- Overlooking;
- Property devaluation;
- Inaccuracies of plans;
- Noise from use of balconies.

The application is required to comply with the planning policy framework, including Clause 55 – Two or more dwellings on a lot, zone provisions, Clause 52.06 – Car parking and Clause 53.02 – Bushfire planning.

RECOMMENDATION

That Council:

- *having caused notice of Planning Application No. PLN23/0120 to be given under Section 52 of the Planning and Environment Act 1987 and /or the Hepburn Planning Scheme; and*
- *having considered all the matters required under Section 60 of the Planning and Environment Act 1987;*

Issues a Notice of Decision to Grant a Planning Permit for the development of two dwellings and removal of outbuildings at 121 Raglan Street, Daylesford subject to the following conditions:

Amended Plans

- 1) *Before the commencement of the development, amended plans must be submitted to and approved by the Responsible Authority. When approved the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale with dimensions and three copies must be provided. The plans must be generally in accordance with the plans submitted with the plans dated 8 May 2023, but modified to show:*
 - a. *Overlooking arcs for the balconies of both dwellings, in accordance with Clause 55.04-6;*
 - b. *Screening applied directly to the north facing balconies of the dwellings to achieve compliance with Standard B22 of Clause 55.04-6;*
 - c. *Any screening of internal views of secluded private open space to achieve compliance with Standard B23 of Clause 55.04-7;*
 - d. *A 1.8 metre high timber paling fence along the western boundary of the lot;*
 - e. *Mailboxes for each dwelling;*
 - f. *A revised landscaping plan in accordance with the requirements of the Bushfire Management Plan (BMP) which shows:*
 - i. *vegetation removal and retention in compliance with the BMP, retaining boundary screening vegetation where possible;*
 - ii. *screening of the water tanks;*
 - iii. *retention of the banksia tree located in the southwestern corner of the lot;*
 - g. *Revised access arrangements which meet the requirements of Table 5 to Clause 53.02-5;*
 - h. *A notation on plan which details that the access road in the road reserve will be surfaced with a minimum 40mm thick type asphalt or 150mm 32MPA concrete;*

- i. A notation on plan which shows an extension to the kerb and channel from the existing kerb and channel to the access road;
- j. A maximum height for the dwellings of 9 metres;

to the satisfaction of the Responsible Authority.

Endorsed plans

- 2) The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.

Vegetation removal

- 3) Vegetation removal may only be undertaken in accordance with the endorsed plans to the satisfaction of the Responsible Authority.

Landscaping

- 4) Prior to the occupation of the dwellings, the landscaping works shown on the endorsed plans must be completed to the satisfaction of the Responsible Authority.

Construction of access road and kerb and channel

- 5) Prior to the occupation of the development the access road in the road reserve and the kerb and channel must be constructed in accordance with the endorsed plans to the satisfaction of the Responsible Authority and then maintained to the satisfaction of the Responsible Authority. Note: Maintenance is at the expense of the property owners.

Construction of vehicle crossings

- 6) Prior to the occupation of the development vehicle crossings must be constructed for each dwelling in accordance with Infrastructure Design Manual Standard Drawing SD 240 or to the approval of the Responsible Authority. Note: A separate permit is required from Council to carry out these works.

Drainage

- 7) All stormwater discharged from the subject land must be connected to the legal point of discharge to the satisfaction of the Responsible Authority. No concentrated stormwater may drain or discharge from the land to adjoining properties. Note: It is the responsibility of the developer to meet the requirements for stormwater quality as stated in the BPPEM (Best Practice Environmental Management) Guidelines. Additional information for requirements can be found at <https://www.epa.vic.gov.au/business-and-industry/guidelines/water-guidance/urban-stormwater-bpema>

Cancellation of existing permit

- 8) Before the development starts Planning Permit Number PLN22/0047 must be cancelled through the Victorian Civil and Administrative Tribunal.

Mandatory Condition for land subject to a Bushfire Management Overlay

- 9) *The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defensible space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.*

Condition required by the Country Fire Authority

- 10) *Before the development starts the Bushfire Management Plan prepared by Regional Planning and Design Pty Ltd, Ref No 21.237, Version C, dated 29/4/2023 must be endorsed by the Responsible Authority. Once endorsed the plan must not be altered unless agreed in writing by CFA and the Responsible Authority.*

Condition required by Central Highlands Water

- 11) *Reticulated sewerage facilities must be provided to each dwelling by the owner of the land (or applicant, in anticipation of becoming the owner) to the satisfaction of the Central Highlands Region Water Corporation. This will include the construction of works and the payment of major works contributions by the applicant.*

Expiry

- 12) *This permit will expire if one of the following circumstances applies:*
- a. The development is not started within two years of the date of this permit.*
 - b. The development is not completed within four years of the date of this permit.*

In accordance with section 69 of the Planning and Environment Act 1987, the Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires, or within six months of the permit expiry date, where the development allowed by the permit has not yet started; or within 12 months of the permit expiry date, where the development has lawfully started before the permit expires.

BACKGROUND

Subject site

The subject site consists of three titles and is an irregular shaped lot located on the northern side of Raglan Street, Daylesford, containing a total area of approximately 1,418 square metres.

The site is currently developed with three outbuildings and screening vegetation has been established along the northern, western and southern boundaries of the site. The site is elevated above the street and is accessed via a gravel driveway which runs parallel to Raglan Street, designed to provide appropriate access to the site across the steeply sloping road reserve. The site can be seen in the image below.



Image 1 | Aerial image; site highlighted with red arrow

The photograph below shows the site as seen from Raglan Street.



Image 2 | Photograph showing site from Raglan Street

Surrounding area

The site is located in an established residential area. The site and surrounding area is located in the Neighbourhood Residential Zone – Schedule 1. Properties in the area are generally developed with single storey dwellings on medium sized lots, often in a garden setting. There are examples of double storey development in the neighbourhood. The site can be seen in the aerial image below, highlighted with a red arrow.

Land to the east of the site at 119 Raglan Street is developed with a single storey rendered dwelling with a tiled roof form, as can be seen in the image below. The dwelling is setback approximately 8.3 metres from the street.



Image 3 | Photograph of 119 Raglan Street

Land opposite the site at 1 Fulcher Street is developed with a single storey dwelling which is oriented to Fulcher Street and garaging which is accessed from Raglan Street. The development of the site as seen from Raglan Street can be seen in the image below.



Image 4 | Photograph of 1 Fulcher Street

Land directly opposite the site at 128 Raglan Street, Daylesford is developed with a large outbuilding, with minimal setback to the street as can be seen in the image below.



Image 5 | Photograph of 128 Raglan Street

Land located at 2 Perrins Street, located diagonally opposite the site is developed with a single storey weatherboard dwelling with an outbuilding developed to the rear. This site can be seen in the images below.



Images 6 and 7 | 2 Perrins Street

Other development in close to the subject site can be seen in the images below.



Images 7 and 8 | 117 Raglan Street, 120 Raglan Street and 122 Raglan Street

Proposal

This is an application to develop two double storey attached dwellings on the land.

The dwellings are contemporary in design and include feature gable elements with projecting garages. The dwellings are intended to be constructed from a mixture of materials including smooth render, rough render, timber cladding, metal cladding in Colorbond Monument, powder coated aluminium and expressed steel. A 3D render of the development can be seen in the images below.



Images 8 and 9 | 3d renders

The dwellings are setback a minimum of 6 metres from the street, with the angled front setback providing for a front setback of up to 8.4 metres (approximately). The dwellings are setback a minimum of 3 metres from side boundaries and the upper

floor of the dwellings is setback behind the garaging. Single storey elements are included centrally within the development.

The dwellings are a mirror image of one another. The dwellings comprise four bedrooms, with the master bedroom located on the ground floor of the dwellings. All bedrooms are provided with ensuites.

At ground level the dwellings comprise open living rooms, the master bedroom suite, a powder room, kitchen, store and laundry. North facing decks and living rooms are achieved. The ground floor layout and siting of the development can be seen in the image below.



Image 10 | Site plan and ground floor of dwelling

At first floor level the dwellings comprise three bedrooms, a retreat and a north facing balcony as can be seen in the image below.

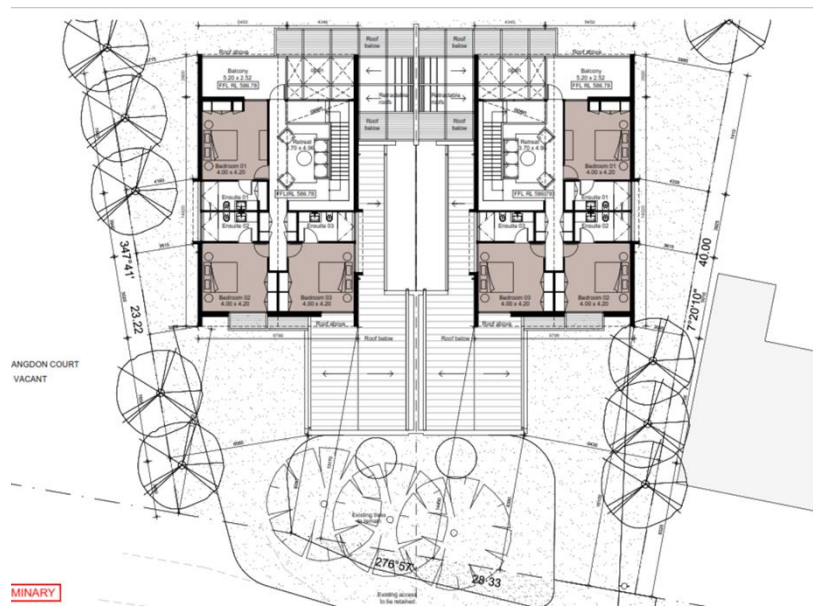


Image 11 | First floor plan

The dwellings have a maximum height of 9.007 metres from natural ground level.

The development was supported by a Bushfire Management Statement. There will be a need to remove screening vegetation to comply with the requirements of the Bushfire Management Plan.

Permit history

In 2021 Council approved the re-subdivision of the land into two lots.

Planning Permit PLN22/0047 has been issued allowing the development of a dwelling on the eastern lot. This Planning Permit is still valid.

The approved dwelling has a maximum height of 7.478 metres. The approved development can be seen in the images below.

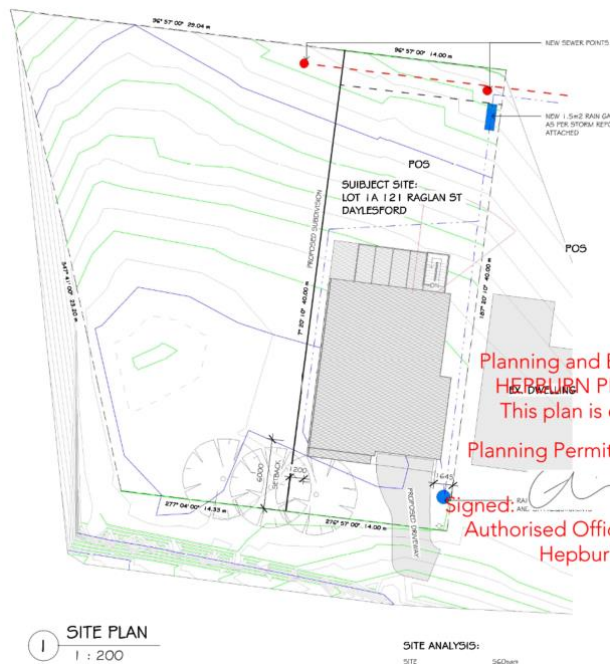


Image 12 | Siting of approved development

Endorsed plans 29/08/2022 Page 4 of 5



Image 13 | Elevations of approved development

Referrals

The following external referrals were undertaken.

Section 55, determining referral authorities

Authority:	Goulburn Murray Water
Summarised response:	No objection
Officer Comment: Noted	

Authority:	Central Highlands Water
Summarised response:	No objection subject to standard conditions
Officer Comment: Noted	

Authority:	Country Fire Authority
Summarised response:	No objection subject to standard conditions
Officer Comment: The conditions are included in the recommendation	

Internal referrals

The following internal referrals were undertaken.

Department:	Engineering
Summarised response:	The application was supported and conditions were suggested, including conditions which require the construction of the vehicle access in the road reserve.
Officer Comment: Generally the conditions have been included in the recommendation	

Public notification

The application is not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act and pursuant to Section 52 of the Planning and Environment Act 1987 the following forms of advertising were undertaken:

- Notices were sent to owners and occupiers of adjoining land (including opposite).

Objections

Seven objections have been lodged with Council. The concerns raised by objectors include:

- Neighbourhood character, including bulk, height, spacing;
- Overlooking;
- Property devaluation;
- Inaccuracies of plans;
- Noise from use of balconies.

Planning Scheme

The site is located in the Neighbourhood Residential Zone – Schedule 1. It is subject to the following overlays:

- Environmental Significance Overlay – Schedule 1;
- Environmental Significance Overlay – Schedule 2;
- Bushfire Management Overlay – Schedule 1;
- Neighbourhood Character Overlay – Schedule 4.

A Planning Permit is required for this application pursuant to the following clauses of the Hepburn Planning Scheme:

- Clause 32.09-7 – Two or more dwellings on a lot in the Neighbourhood Residential Zone;
- Clause 44.06-2 – Buildings associated with accommodation in the Bushfire Management Overlay;
- Clause 42.01-2 – Buildings and works in the Environmental Significance Overlay – Schedule 1 and 2;
- Clause 43.05-2 – Buildings and works, including demolition, in the Neighbourhood Character Overlay.

KEY ISSUES

The application has been assessed as follows.

Planning Policy

The following planning policies are relevant to the consideration of this application:

- 02.03-1 – Settlement;
- 02.03-3 – Environmental risks and amenity;
- 02.03-5 – Built environment and heritage;
- 02.03-6 – Housing;
- 11.01-1S – Settlement;
- 11.01-1R – Settlement – Central Highlands;
- 11.01-1L – Townships and settlements;
- 13.02-1S – Bushfire planning;
- 15.01-1 S and L – Urban design;
- 15.01-2S – Building design;
- 15.01-2L – Environmentally sustainable development;
- 15.01-5S – Neighbourhood character;
- 15.01-5L-01 – Neighbourhood character in Daylesford;
- 15.01-5L-02 – Neighbourhood character in townships and settlements;
- 16.01-1S – Housing supply;
- 71.02-3 – Integrated decision making.

The site is subject to the Bushfire Management Overlay (BMO) and as such Clause 13.02-1S is relevant to the consideration of this application. This policy requires that human life is prioritised above all other policy considerations.

The application was accompanied by a Bushfire Management Statement which includes a Bushfire Management Plan (BMP). These documents conclude that

bushfire risk to the site can be managed through construction standards and management of vegetation. The application was also referred to the Country Fire Authority who have supported the application. As such, it is assessed that the application will appropriately prioritise human life and will minimise risk from bushfire to the extent possible. It is important to note that the presence of the BMO and the recommendations of the BMP require the removal of trees to provide for a canopy separation of 5 metres and will impact on the amount of landscaping which is able to be undertaken on the land.

The planning policy framework includes direction to provide for appropriate urban consolidation opportunities within the township of Daylesford to make efficient use of existing infrastructure. The application is consistent with these policy objectives, found at Clause 11.01-1R, Clause 11.01-1L and Clause 02.03-1.

The application is also consistent with planning policy which seeks to ensure that housing is provided for a variety of household types, as detailed at Clauses 02.03-6 and 16.01-1S.

The site is located in Precinct 9 pursuant to Clause 15.01-5L-01 which does not include any particular strategies. The Daylesford-wide strategies apply and these seek to *protect and enhance vistas, views and landmarks such as Wombat Hill, Cornish Hill, residential areas interfacing with the Vincent Street commercial area, and the churches and other spires.*

Create new vistas, views and landmarks within residential areas without dominating the landscape.

Ensure that vehicle access and parking does not compromise the character and amenity of residential areas including discouraging the removal of street trees for cross overs.

Encourage the retention and planting of vegetation, with a preference for indigenous plants except in precincts where exotic plants are also identified as being suitable.

Design development to provide for streetscapes and private gardens that:

- *Strengthen the visual and physical connections between the development and the public realm.*
- *Respect the underlying neighbourhood landscape character.*
- *Respond to township entries.*
- *Retain views to surrounding and distant rural land.*

Encourage subdivision that retains the important elements and features that form part of the significance and character of the neighbourhood precinct and the important view-lines between these elements.

It is assessed that the application responds to the existing character of the area and the Daylesford- wide strategies for neighbourhood character as:

- While the dwellings are double storey in scale, the development includes single storey elements to respond to the dominant scale of development in the area and setback back the double storey elements behind the garaging;

- The dwellings are contemporary in design and include gabled roof forms and a mix of materials which responds to the varied roof forms and materiality seen in the neighbourhood;
- The development uses the existing vehicle access arrangement and doesn't result in new vehicle access points onto Raglan Street;
- The dwellings, while attached, provide for a spacious garden setting for the development, having side setbacks of a minimum 3 metres in dimension;
- The development provides an opportunity for landscaping in the front setback area, provided it responds to the requirements of the Bushfire Management Plan.

The site is located in an area where single storey development dominates, but there are examples of double storey development proximate to the site. Land opposite the site is currently developed with a bulky outbuilding. There is significant Victorian Civil and Administrative Tribunal (VCAT) history around neighbourhood character and building height in areas which are dominated by single storey development, with VCAT finding in *Van Lierop v Maroondah CC* {2014} VCAT 1093 (5 September 2014) and numerous other cases (paragraph 40):

Double storey buildings are a normal form of development found in most residential neighbourhoods. Double storey development is acceptable outcome in the vast majority of residential neighbourhoods unless there is a specific imperative, such as a heritage overlay or a pristine and consistent built form that militates against such development.

The subject site is consistent with the direction of the above extract and is not located in a pristine single storey environment and there are no planning controls which restrict development to a single storey in scale. The development includes single storey elements in response to the dominant scale of the area, however the dwelling will be visible in the surrounding area as a result of the elevated nature of the site and the double storey scale of development.

The site is connected to the reticulated sewerage network and the application has been referred to the relevant water authorities who have supported the application, such that the application will not impact on water quality.

Zone

The site is located in the Neighbourhood Residential Zone, the purpose of which is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To recognise areas of predominantly single and double storey residential development.*
- *To manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.*

- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

The neighbourhood character objective of NRZ1 is *to ensure development achieves the identified preferred neighbourhood character for Daylesford.*

The decision guidelines of NRZ1 require Council to consider whether:

- Whether the design, height, setback, appearance and interface of the proposed buildings and works is appropriate within the streetscape and to any heritage place on the land or adjacent land.
- Whether the proposed landscaping enhances the existing landscape and vegetation in the precinct.
- Whether the significant elements of the precinct are retained, including those elements that contribute to its setting.

The application is consistent with the above decision guidelines. The development provides for an outcome which is appropriate in this streetscape, with the contemporary design including elements that are seen in the neighbourhood, including a gabled roof form, lightweight building materials, non-dominant garaging and space around the dwellings.

As noted above, the presence of the BMO reduces the ability for landscaping to be undertaken on the site, with all landscaping required to be consistent with the requirements of the BMP. Importantly, the development is located in a spacious setting in response to the rhythm of spacing seen in the neighbourhood.

The development is required to provide 35% garden area; this requirement is met.

Clause 32.09-11 details the maximum building height for a dwelling on this site is 9 metres, a permit condition requires that the plans shown that the dwelling has a maximum height of 9 metres.

The application is required to be assessed against Clause 55 – Two or more dwellings on a lot and this assessment can be seen in the attachment.

Overlay

The site is subject to Environmental Significance Overlay – Schedule 1 (ESO1) and Environmental Significance Overlay – Schedule 2 (ESO2). The application was referred to Central Highlands Water and Goulburn Murray Water to ensure that the development would not negatively impact on water catchments and water quality. The development is assessed as being consistent with the statements of environmental significance and relevant decision guidelines of the ESO1 and ESO2.

The site is located in the BMO and is required to be assessed against Clause 53.02. This assessment can be seen in Attachment 1.

The site is also subject to Neighbourhood Character Overlay – Schedule 4 (NCO4), the neighbourhood character objective for which is as follows:

- *To maintain and strengthen the garden settings of dwellings and the relationship to the vegetation qualities of Wombat Hill.*

- *To minimise site disturbance and reduce the dominance and impact of buildings on the landscape.*
- *To maintain the rhythm of dwelling spacing, the openness to the streetscape and the consistency, where present, of building front setbacks.*
- *To respect the identified heritage qualities of the streetscape or adjoining buildings.*
- *To ensure building materials and finishes complement the dominant pattern within the streetscape and front fences are appropriate to the era of dwellings in the area.*

The statement of neighbourhood character details that the garden settings of the dwellings, connection of the area with the town's heritage and the cohesiveness of the area will be maintained and enhanced by:

- Encouraging the retention and planting of trees and gardens.
- Maintaining the rhythm and pattern of the prevailing rectilinear form of subdivision.
- Ensuring that new buildings do not dominate the streetscape and wider landscape setting.
- Encouraging the use of timber or other non-masonry materials and non-reflective corrugated iron roofing materials, where possible.
- Ensuring buildings are offset from at least one side boundary.
- Encouraging low to average height, open style front fences.
- Encouraging the planting of street trees.

The development is consistent with the above objectives as it:

- Provides for space around the dwellings and for the planting of landscaping to the extent possible available under the BMO;
- Involves minimal land disturbance;
- Provides for dwellings which have the upper level of the façade setback from the lower level;
- Includes side and rear setbacks;
- Provides for an open style low front fence;
- Includes a range of materials, incorporating timber cladding and render, which are considered to be lighter looking building materials.

It is noted that the decision guidelines of NCO4 require consideration to be given to:

- *Whether the building is appropriate to the building era of the area;*
- *Whether the building is setback from both boundaries;*
- *Whether the building design reflects the dominant building forms in the street, including roof form, in areas where the streetscape contains identified heritage buildings;*
- *Whether the building has been sited away from a ridgeline and avoids being visible when viewed from lower areas;*

- *Whether an acceptable landscape plan that includes appropriate low maintenance species has been prepared.*
- *Whether the building has been designed within the predominant tree canopy height;*
- *Whether timber or other non-masonry cladding materials, or earthy toned building materials and finishes are used;*
- *Whether a low to average height, open style front fencing is proposed with a maximum height of 1.2 metres.*

It is assessed that the development provides for an acceptable outcome when considering the above decision guidelines. The surrounding area contains a mix of dwelling styles and the contemporary design which is proposed, with its gabled roofing and use of timber and render is responsive to some of the character elements seen in the area.

The development is designed to have a medium sized front setback which can be landscaped and the dwellings are offset from side boundaries to the east and west. The NCO4 control is a broad control and it is acknowledged that the control seeks to have buildings located off ridgelines, however it is not possible to develop this site if the ridgeline was to be avoided.

Particular provisions

Clause 52.06 – Car parking

The application complies with the requirements of Clause 52.06-9 and it provides for internal driveways which allow for safe vehicle access and are at least 3 metres wide.

As each dwelling has more than three bedrooms, two on site car parking spaces are required, with at least one car parking space undercover. The application meets this requirement, with two covered car parking spaces. Garaging is required to be at least 5.5 metres wide and 6 metres long and these requirements have been exceeded in the design response.

Clause 52.12 – Bushfire protection exemptions

At Clause 52.12-5 an exemption from the need to obtain approval for vegetation removal under any part of the Planning Scheme is provided to create defensible space for a dwelling under Clause 44.06 of the Planning Scheme.

Clause 53.02 – Bushfire planning

See Attachment 1 for detailed assessment.

The application is consistent with the requirements of Clause 53.02.

Clause 55 – Two or more dwellings on a lot

The application is consistent with Clause 55 and permit conditions will require:

- A revised landscape plan;
- A revised overlooking solution.

See Attachment 2 for detailed assessment.

Objections

The objections are summarised and commented on below.

Objection	Officer comment
Overlooking to the rear, including properties at 1 and 5 Langdon Court, and 3 and 7 Cobblers Lane.	<p>The sectional overlooking plan is incorrectly drawn and there will be overlooking to adjoining properties.</p> <p>The current design solution shows a 2 metre high fence to the rear of the property. This fence is higher than is typical in the neighbourhood and a Planning Permit condition within the recommendation requires that overlooking arcs are provided for both balconies and screening is undertaken at the source i.e. at the balcony, rather than on the property boundary. The opportunity exists to provide angled screening if it can be designed to comply with the requirements of the overlooking standard (B22).</p> <p>The applicant has outlined an intention to rely on vegetation located on adjoining land to screen views from the development. This is not an acceptable outcome as the vegetation is not under the control of the applicant. Given that the site and surrounding area are subject to the BMO, there are exemptions available to allow vegetation along fence lines to be removed; as such it cannot be expected that the vegetation would always be present on the adjoining land.</p> <p>The overlooking standard is designed by the State Government to restrict unreasonable overlooking, which in the case of the standard is a 9 metre distance. Any overlooking beyond 9 metres is considered to be reasonable overlooking.</p>
The application details that the building materials are non-reflective but the glazing is reflective	The reflectivity of materials is not considered a planning issue.
The application documents	The Planning Officer is aware that the site is

denote the adjoining land to the west as vacant, which is not correct. The land is developed with the original 1914 dairy farmhouse.	developed with a dwelling.
<p>The development does not respond to the character of the area as:</p> <ul style="list-style-type: none"> • The buildings are double storey and 9 metres tall; • The dwellings are excessively bulky; • Vegetation is being cleared; • Garaging and water tanks are located at the front of the block; • The height of the block will exacerbate the height of the development. <p>Most development in the area is single storey in scale.</p> <p>The site sits on a ridgeline and the dwellings will dominate the surrounding area. The dwellings will be the highest buildings in the locality.</p>	<p>As noted above, the development has a maximum height of 9.007 metres. Wall heights are a maximum of 6.825 metres, with the gabled roof designed to reduce the bulk of the dwelling.</p> <p>The wall heights of the dwelling and its overall heights are considered to provide for an acceptable outcome in this neighbourhood, which will predominantly single storey in scale, does not preclude double storey development. It is noted that the site is located at a highpoint, but this also doesn't prevent the development being double storey in scale.</p> <p>It is agreed that garaging and water tanks are located at the front of the site. The development is designed to integrate garaging into the overall design of the development and the siting of garaging allows for windows to be provided in the façade of the development.</p> <p>A permit condition within the recommendation requires planting in the front setback area to screen the water tanks, and the development to be within a 9 metre maximum height.</p>
The west facing bathroom windows overlook our property.	The Planning Scheme requires an assessment of overlooking from habitable room windows and balconies. A bathroom is not a habitable room; however it is noted that the glazing of these windows is 2.1 metres above finished floor level.
The application plans indicate that the western fence will be	A permit condition within the recommendation requires the provision of a 1.8 metre high fence.

retained; this fence is approximately 850mm high.	
Loss of original vegetation.	<p>As noted above, the application will result in the thinning of screening vegetation to provide for compliance with the requirements of the BMP.</p> <p>A permit condition within the recommendation requires the submission of a plan which shows the vegetation that can be retained and achieve compliance with the requirements of the BMP and it is expected that there will be an opportunity to retain some vegetation along property boundaries which will provide for the filtering of the development.</p> <p>A further requirement of a condition contained in the recommendation is for the development to retain the banksia tree located in the south-western corner of the lot.</p>
Noise from balconies will be obtrusive.	Any noise from the use of the balconies is residential noise and is appropriate in a residential area.

Conclusion

The application is consistent with the planning policy framework and it is recommended that a Notice of Decision to Grant a Planning Permit is issued.

POLICY AND STATUTORY IMPLICATIONS

This application meets Council's obligations as Responsible Authority under the *Planning and Environment Act, 1987*.

GOVERNANCE ISSUES

The implications of this report have been assessed in accordance with the requirements of the Victorian Charter of Human Rights and Responsibilities.

SUSTAINABILITY IMPLICATIONS

There are no sustainability implications associated with this report.

FINANCIAL IMPLICATIONS

Any application determined by Council or under delegation of Council is subject to appeal rights and may incur costs at VCAT if appealed.

RISK IMPLICATIONS

No risks to Council other than those already identified.

COMMUNITY AND STAKEHOLDER ENGAGEMENT

The application has been advertised and seven objections have been received, as detailed in this report.

Attachment 1 – Planning Officer Assessment Against Clause 53.02 – Bushfire Planning

53.02-3 Dwellings in existing settlements – Bushfire protection objective

To specify bushfire design and construction measures for a single dwelling or alteration and extension to an existing dwelling that reduces the risk to life and property to an acceptable level.

Measure	Requirement	Assessment																								
AM 1.1	<p>A building is sited to ensure the site best achieves the following:</p> <ul style="list-style-type: none">The maximum separation distance between the building and the bushfire hazard.The building is in close proximity to a public road.Access can be provided to the building for emergency service vehicles.	The buildings are setback 100 metres from the forest																								
AM 1.2	<p>A building provides the defendable space in accordance with Column A, B, C, D or E of Table 1 to Clause 52.03-5. Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.</p> <p>A building is constructed to the bushfire attack level:</p> <ul style="list-style-type: none">That corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-5, orThe next lower bushfire attack level that corresponds to the defendable space provided in accordance with Table 1 to Clause 52.03-5. where all of the following apply:<ul style="list-style-type: none">A private bushfire shelter (a Class 10c building within the meaning of the Building Regulations 2006) is constructed on the same land as the dwelling.A minimum bushfire attack level of BAL12.5 is provided in all circumstances.	The development achieves defendable space consistent with BAL 29 and BAL 12.5																								
AM 1.3	<p>A building is provided with:</p> <ul style="list-style-type: none">A static water supply for fire fighting and property protection purposes specified in Table 4 to Clause 53.02-5. The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5. <p>Table 4 Water supply requirements</p> <table><tr><th colspan="4">Capacity, fittings and access</th></tr><tr><th>Lot sizes (square meters)</th><th>Hydrant available</th><th>Capacity (litres)</th><th>Fire authority fittings and access required</th></tr><tr><td>Less than 500</td><td>Not applicable</td><td>2,500</td><td>No</td></tr><tr><td>500-1,000</td><td>Yes</td><td>5,000</td><td>No</td></tr><tr><td>500-1,000</td><td>No</td><td>10,000</td><td>Yes</td></tr><tr><td>1,001 and above</td><td>Not applicable</td><td>10,000</td><td>Yes</td></tr></table> <p>Note 1 : a hydrant is available if it is located within 120 metres of the rear of the building.</p> <p>Fire authority requirements</p>	Capacity, fittings and access				Lot sizes (square meters)	Hydrant available	Capacity (litres)	Fire authority fittings and access required	Less than 500	Not applicable	2,500	No	500-1,000	Yes	5,000	No	500-1,000	No	10,000	Yes	1,001 and above	Not applicable	10,000	Yes	<p>The dwellings are provided with water tanks which are 5,000 litres in size. Fire authority fittings are required.</p> <p>The accessway length is more than 30m and the CFA requirements must be met. A permit condition addresses this issue.</p>
Capacity, fittings and access																										
Lot sizes (square meters)	Hydrant available	Capacity (litres)	Fire authority fittings and access required																							
Less than 500	Not applicable	2,500	No																							
500-1,000	Yes	5,000	No																							
500-1,000	No	10,000	Yes																							
1,001 and above	Not applicable	10,000	Yes																							

Unless otherwise agreed in writing by the relevant fire authority, the water supply must:

- *Be stored in an above ground water tank constructed of concrete or metal;*
- *Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal;*
- *Include a separate outlet for occupant use.*

Where a 10,000 litre water supply is required, fire authority fittings and access must be provided as follows:

- *Be readily identifiable from the building or appropriate identification signs to the satisfaction of the relevant fire authority;*
- *Be located within 60 metres of the outer edge of the approved building;*
- *The outlet/s of the water tank must be within four metres of the accessway and unobstructed.*
- *Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65mm) and coupling (64mm CFA 3 thread per inch male fitting);*
- *Any pipework and fittings must be a minimum 65mm (including the CFA coupling).*

Table 5

Column A	Column B
Length of access is less than 30 metres	There are no design and construction requirements if fire authority access to the water supply is not required under AM4.1.
Length of access is less than 30 metres	Where fire authority access to the water supply is required under AM4.1 fire authority vehicles should be able to get within 4 metres of the water supply outlet.
Length of access is greater than 30 metres	<p>The following design and construction requirements apply:</p> <ul style="list-style-type: none"> ■ All-weather construction. ■ A load limit of at least 15 tonnes. ■ Provide a minimum trafficable width of 3.5 metres. ■ Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically. ■ Curves must have a minimum inner radius of 10 metres. ■ The average grade must be no more than 1 in 7 (14.4%) (81°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres. ■ Dips must have no more than a 1 in 8 (12.5 per cent) (71 degrees) entry and exit angle.
Length of access is greater than 100 metres	<p>A turning area for fire fighting vehicles must be provided close to the building by one of the following:</p> <ul style="list-style-type: none"> ■ A turning circle with a minimum radius of eight metres. ■ A driveway encircling the dwelling. ■ The provision of other vehicle turning heads – such as a T or Y head – which meet the specification of Austroad Design for an 8.8 metre Service Vehicle.
Length of access is greater than 200 metres	<ul style="list-style-type: none"> ■ Passing bays must be provided at least every 200 metres. ■ Passing bays must be a minimum of 20 metres long with a minimum trafficable width of 6 metres.

Note 1: *the length of access should be measured from a public road to either the building or the water supply outlet, whichever is the longer*

Clause 53.04-1 Bushfire Protection Objectives**53.04.1 Landscape, siting and design objectives**

- *Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.*
- *Development is sited to minimise the risk from bushfire.*
- *Development is sited to provide safe access for vehicles, including emergency vehicles.*
- *Building design minimises vulnerability to bushfire attack.*

Measure	Requirement	Assessment
AM 2.1	<i>The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.</i>	Complies, the dwellings are sited approx. 100m away from forest and defensible space and construction standards will reduce bushfire risk to an acceptable level
AM 2.2	<i>A building is sited to ensure the site best achieves the following:</i> <ul style="list-style-type: none"> ▪ <i>The maximum separation distance between the building and the bushfire hazard.</i> ▪ <i>The building is in close proximity to a public road.</i> ▪ <i>Access can be provided to the building for emergency service vehicles.</i> 	As above, a permit condition will address access requirements
AM 2.3	<i>A building is designed to be responsive to the landscape risk and reduce the impact of bushfire on the building.</i>	Construction standards address this

53.02-4.2 Defendable space and construction objective

Defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on buildings.

Measure	Requirement	Assessment
AM 3.1	<i>A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with defendable space in accordance with:</i> <ul style="list-style-type: none"> • <i>Table 2 Columns A, B or C and Table 6 to Clause 52.47-3 wholly within the title boundaries of the land; or</i> • <i>If there are significant siting constraints, Table 2 Column D and Table 6 to Clause 53.02-5</i> <i>The building is constructed to the bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5.</i>	The development provides for BAL 29 and BAL 12.5 defendable space

53.02-4.3 Water supply and access objectives

A static water supply is provided to assist in protecting property. Vehicle access is designed and constructed to enhance safety in the event of a bushfire.

Measure	Requirement	Assessment
AM 4.1	<p><i>A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with:</i></p> <ul style="list-style-type: none"> ▪ <i>A static water supply for fire fighting and property protection purposes specified in Table 4 to Clause 53.02-5.</i> ▪ <i>Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5.</i> <p><i>The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.</i></p>	<p>As noted, each dwelling is provided with 5,000 litres of water.</p> <p>Permit conditions address access requirements to ensure compliance.</p>

Attachment 2 – Planning Officer Clause 55 Assessment with NCO 4 variations

55.02-1 Neighbourhood character objective	Standard B1	Met	Comments
<p><i>To ensure that the design respects the existing neighbourhood character or contributes to neighbourhood character.</i></p> <p><i>To ensure that development responds to the features of the site and the surrounding area</i></p>	<p><i>The design response must be appropriate to the neighbourhood and the site.</i></p> <p><i>The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site</i></p>	Yes	Complies
55.02-2 Residential policy objective	Standard B3	Met	Comments
<p><i>To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</i></p> <p><i>To support medium densities in areas where development can take advantage of public transport and community infrastructure and services</i></p>	<p><i>An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</i></p>	Yes	Complies
55.02-3 Dwelling diversity objective	Standard B3	Met	Comments
<p><i>To encourage a range of dwelling sizes and types in developments of ten or more dwellings</i></p>	<p><i>Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:</i></p> <ul style="list-style-type: none"> <i>Dwellings with a different number of bedrooms.</i> <i>At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.</i> 	NA	Less than ten dwellings
55.02-4 Infrastructure objective	Standard B4	Met	Comments
<p><i>To ensure development is provided with appropriate utility services and infrastructure.</i></p> <p><i>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</i></p>	<p><i>Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.</i></p> <p><i>Connection to a reticulated gas service is optional.</i></p>	Yes	Complies The application has been supported by Council's Engineers
	<p><i>Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</i></p>	Yes	
	<p><i>In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.</i></p>	NA	
55.02-4 Integration with the street objective	Standard B5	Met	Comments

<i>To integrate the layout of development with the street</i>	<i>Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.</i>	Yes	Complies A low front fence is proposed
	<i>Development should be oriented to front existing and proposed streets</i>	Yes	
	<i>High fencing in front of dwellings should be avoided if practicable</i>	Yes	
	<i>Development next to existing public open space should be laid out to complement the open space.</i>	NA	

55.03-1 Street setback objective	Standard B6	Met	Comments															
<i>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site</i>	<p><i>Walls of buildings should be set back from streets the distance specified in Table B1 below.</i></p> <table><tr><th>Development context</th><th>Minimum setback from front street (metres)</th><th>Minimum setback from a side street (metres)</th></tr><tr><td>There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.</td><td>The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.</td><td>Not applicable</td></tr><tr><td>There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.</td><td>The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.</td><td>Not applicable</td></tr><tr><td>There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.</td><td>6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.</td><td>Not applicable</td></tr><tr><td>The site is on a corner.</td><td>If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser. If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.</td><td>Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser. Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.</td></tr></table>	Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)	There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.	Not applicable	There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.	Not applicable	There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Not applicable	The site is on a corner.	If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser. If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser. Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.	No	Variation required The application documents show that the dwelling is setback 8.4 metres from the street. The development is setback a minimum of 6.090 metres from the street. With the angled frontage of the site, the front setback increases up to 8.38 metres, which is almost the same setback as the dwelling at 119 Raglan Street. The front setback provides for an acceptable outcome, allowing for a garden to be established in front of the development and providing for a setback which is similar to other development in the area.
Development context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)																
There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.	Not applicable																
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There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Not applicable																
The site is on a corner.	If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser. If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Road Zone, Category 1, and 4 metres for other streets.	Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser. Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.																
	<i>Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.</i>	NA																
55.03-2 Building height objective	Standard B7	Met	Comments															
<i>To ensure that the height of buildings respects the existing or preferred neighbourhood character</i>	<i>The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.</i>	NA	Complies, with condition A permit condition within the recommendation requires the dwelling to be reduced to 9 metres in height, currently the plans show the dwelling as 9.007 metres in height.															
	<i>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres</i>	Yes																
55.03-3 Site coverage objective	Standard B8	Met	Comments															

<i>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site</i>	<i>The area covered by buildings should not exceed 60 per cent</i>	Yes	Complies
55.03-4 Permeability and stormwater management objectives	Standard B9	Met	Comments
<i>To reduce the impact of increased stormwater run-off on the drainage system</i> <i>To facilitate on-site stormwater infiltration</i> <i>To encourage stormwater management that maximises the retention and reuse of stormwater</i>	<i>The site area covered by the pervious surfaces should be at least 20% of the site</i>	Yes	Complies More than 20% of the site is available
	<i>The stormwater management system should be designed to:</i> <ul style="list-style-type: none"> <i>Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).</i> <i>Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.</i> 	Yes	
55.03-5 Energy efficiency objective	Standard B10	Met	Comments
<i>To achieve and protect energy efficient dwellings and residential buildings</i> <i>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy</i>	<i>Buildings should be:</i> <ul style="list-style-type: none"> <i>Orientated to make appropriate use of solar energy</i> <i>Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced</i> <i>Sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots in a GRZ, NRZ or TZ are not unreasonably reduced.</i> 	Yes	Complies Living areas, decks and private open space areas are oriented to the north. The development will not negatively impact on the solar roof panels located on the property to the east.
	<i>Living areas and private open space should be located on the north side of the development if practicable</i>	Yes	
	<i>Developments should be designed so that solar access to north-facing windows is maximised</i>	Yes	
55.03-6 Open space objective	Standard B11	Met	Comments
<i>To integrate the layout of the development with any public and communal open space provided in or adjacent to the development</i>	<i>If any public or communal open space is provided on site, it should:</i> <ul style="list-style-type: none"> <i>Be substantially fronted by dwellings, where appropriate</i> <i>Provide outlook for as many dwellings as practicable</i> 	NA	

	<ul style="list-style-type: none"> Be designed to protect any natural features on the site Be accessible and useable 		
55.03-7 Safety objective	Standard B12	Met	Comments
To ensure the layout of development provides for the safety and security of residents and property	Entrances to dwellings should not be obscured or isolated from the street and internal accessways	Yes	Complies Dwelling entries are easily identifiable
	Planting which creates unsafe spaces along streets and accessways should be avoided	Yes	
	Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways	Yes	
	Private spaces within developments should be protected from inappropriate use as public thoroughfares	Yes	
55.03-8 Landscaping objective	Standard B13	Met	Comments
<p>To encourage development that respects the landscape character of the neighbourhood</p> <p>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance</p> <p>To provide appropriate landscaping</p> <p>To encourage the retention of mature vegetation on the site</p>	<p>The landscape layout and design should:</p> <ul style="list-style-type: none"> Protect any predominant landscape features of the neighbourhood Take into account the soil type and drainage patterns of the site Allow for intended vegetation growth and structural protection of buildings In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals Provide a safe, attractive and functional environment for residents 	Yes	Complies with condition The landscape plan does not respond to the requirements of the BMP. A permit condition addresses this issue.
	Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood	Yes	
	Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made	NA	
	The landscape design should specify landscape themes, vegetation (location and species), paving and lighting	Yes	
55.03-9 Access objective	Standard B14	Met	Comments
To ensure the number and design of vehicle crossovers respects the neighbourhood character	<p>The width of accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> 33% of the street frontage, or if the width of the street frontage is less than 20m, 40% of the street frontage 	Yes	Complies 28% of frontage is taken up with vehicle crossings
	No more than one single-width crossover should be provided for each dwelling fronting a street	Yes	

	<i>The location of crossovers should maximize the retention of on-street car parking spaces</i>	Yes	
	<i>The number of access point to a road in a TZ2 or TZ3 should be minimised</i>	NA	
	<i>Developments must provide access for service, emergency and delivery vehicles</i>	Yes	
55.03-10 Parking location objective	Standard B15	Met	Comments
<i>To provide convenient parking for resident and visitor vehicles</i> <i>To protect residents from vehicular noise within developments</i>	Car parking facilities should: <ul style="list-style-type: none"> • Be reasonably close and convenient to dwellings and residential buildings • Be secure • Be well ventilated if enclosed 	Yes	Complies
	Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5m from the windows of habitable rooms. This setback may be reduced to 1m where there is a fence at least 1.5m high or where window sills are at least 1.4m above the accessway	Yes	

55.04-1 Side and rear setbacks objective	Standard B17	Met	Comments
<i>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings</i>	A new building not on or within 200mm of a boundary should be set back from side or rear boundaries 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.	Yes	Complies For wall heights of a maximum of 6.825 metres a setback of 1.97 metres is required. This setback has been exceeded on the east and west elevations. A rear setback of 4.097 metres is required and this requirement has been exceeded
	Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5m into the setbacks of this standard	Yes	
	Landings having an area of not more than 2sqm and less than 1m high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard	NA	
55.04-2 Walls on boundaries objective	Standard B18	Met	Comments
<i>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings</i>	A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut the boundary for a length of more than: <ul style="list-style-type: none"> ▪ 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or 	NA	

	<ul style="list-style-type: none"> Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater. 		
	A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.	NA	
	A building on boundary includes a building setback up to 200mm from a property boundary	Noted	
	The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.	NA	
55.04-3 Daylight to existing windows objective	Standard B19	Met	Comments
To allow adequate daylight into existing habitable room windows	Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3sqm and minimum dimensions of 1m clear to the sky. The calculation of the area may include land on the abutting lot	Yes	Complies A setback of 3.11 metres is required from the western wall of the dwelling at 119 Raglan Street and this requirement has been exceeded
	Walls or carports more than 3m in height opposite an existing habitable room window should be set back from the window at least 50% of the height of the new wall if the wall is within a 55° arc from the centre of the existing window. The arc may be swung to within 35° of the plane of the wall containing the existing window	Yes	
	Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window Refer to Diagram B2	Yes	
55.04-4 North facing windows objective	Standard B20	Met	Comments
To allow adequate solar access to existing north-facing habitable room windows	If a north-facing habitable window of an existing dwelling is within 3m of a boundary on an abutting lot, a building should be setback from the boundary 1m,	NA	

	<p>plus 0.6m for every metre of height over 3.6m up to 6.9m, plus 1m for every metre of height over 6.9m, for a distance of 3m from the edge of each side of the window.</p> <p>A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.</p> <p>Refer to Diagram B3</p>		
55.04-5 Overshadow open space objective	Standard B21	Met	Comments
To ensure buildings do not significantly overshadow existing secluded private open space	Where sunlight to secluded private open space of an existing dwelling is reduced, at least 75%, or 40sqm with minimum dimension of 3m, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 September	Yes	Complies
	If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced	NA	
55.04-6 Overlooking objective	Standard B22	Met	Comments
To limit views into existing secluded private open space and habitable room windows	A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9m (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45° angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7m above the floor level	Yes	Complies with condition Amended plans are required to be submitted showing overlooking arcs and sectional diagrams which are taken from the edge of the balcony. Screening of overlooking is required to be undertaken at the source of the balcony, rather than on the fence. A 1.8 metre high fence is required along the western boundary of the site
	A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of an existing dwelling within a horizontal distance of 9m (measured at ground level) of the window, balcony, terrace, deck or patio should be either: <ul style="list-style-type: none"> offset a minimum of 1.5m from the edge of one window to the edge of the other have sill heights of at least 1.7m above floor level have fixed, obscure glazing in any part of the window below 1.7m above floor level 	Yes	

	<ul style="list-style-type: none"> have permanently fixed external screens to at least 1.7m above floor level and be no more than 25% transparent 		
	Obscure glazing in any part of the window below 1.7m above floor level may be openable provided that there are no direct views as specified in this standard	NA	
	Screens used to obscure a view should be: <ul style="list-style-type: none"> perforated panels or trellis with a maximum of 25% openings or solid translucent panels permanent, fixed and durable designed and coloured to blend with the development 	Yes	
	This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.		
55.04-7 Internal views objective	Standard B23	Met	Comments
To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development	Windows and balconies should be designed to prevent overlooking of more than 50% of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development	Yes	Complies with condition
55.04-8 Noise impacts objective	Standard B24	Met	Comments
To contain noise sources in developments that may affect existing dwellings	Noise sources, such as mechanical plant, should not be located near boundaries of immediately adjacent existing dwellings	Yes	Complies
To protect residents from external noise	Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties	Yes	
	Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms	NA	
55.05-1 Accessibility objective	Standard B25	Met	Comments
To encourage the consideration of the needs of people with limited mobility in the design of developments	The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	Yes	Complies

55.05-2 Dwelling entry objective	Standard B26	Met	Comments
<i>To provide each dwelling or residential building with its own sense of identity</i>	<p><i>Entries to dwellings and residential buildings should:</i></p> <ul style="list-style-type: none"> <i>be visible and easily identifiable from streets and other public areas</i> <i>provide shelter, a sense of personal address and a transitional space around the entry</i> 	Yes	Complies
55.05-3 Daylight to new windows objective	Standard B27	Met	Comments
<i>To allow adequate daylight into new habitable room windows</i>	<p><i>A window in a habitable room should be located to face:</i></p> <ul style="list-style-type: none"> <i>an outdoor space or a light court with a minimum area of 3sqm and minimum dimension of 1m clear to the sky, not including land on an abutting lot, or</i> <i>a verandah provided it is open for at least one third its perimeter, or</i> <i>a carport provided it has two or more open sides and is open for at least one third of its perimeter</i> 	Yes	Complies Light court requirements are exceeded
55.05-4 Private open space objective	Standard B28	Met	Comments
<i>To provide adequate private open space for the reasonable recreation and service needs of residents</i>	<p><i>A dwelling or residential building should have private open space:</i></p> <ul style="list-style-type: none"> <i>an area of 40sqm, with one part secluded at the side or rear with a min area of 25sqm, a min dimension of 3m and convenient access from a living room, or</i> <i>a balcony of 8sqm with a min width of 1.6m and convenient access from a living room, or</i> <i>a roof-top area of 10sqm with a min width of 2m and convenient access from a living room</i> 	Yes	Complies The minimum private open space requirements are far exceeded
55.05-5 Solar access to open space objective	Standard B29	Met	Comments
<i>To allow solar access into the secluded private open space of new dwellings and residential buildings</i>	<i>The private open space should be located on the north side of the dwelling or residential buildings</i>	Yes	Complies
	<i>The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall Refer to Diagram B29</i>	Yes	
55.05-6 Storage objective	Standard B30	Met	Comments
<i>To provide adequate storage facilities for each dwelling</i>	<i>Each dwelling should have convenient access to at least 6m³ of externally accessible, secure storage space</i>	Yes	Complies Provided within garaging

55.06-1 Design detail objective	Standard B31	Met	Comments
<i>To encourage design detail that respects the existing or preferred neighbourhood character</i>	<i>The design of buildings, including:</i> <ul style="list-style-type: none"> • <i>Facade articulation and detailing,</i> • <i>Window and door proportions,</i> • <i>Roof form, and</i> • <i>Verandahs, eaves and parapets,</i> <i>should respect the existing or preferred neighbourhood character.</i>	Yes	Complies
	<i>Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character</i>	Yes	
55.06-2 Front fences objective	Standard B32	Met	Comments
<i>To encourage front fence design that respects the existing or preferred neighbourhood character</i>	<i>The design of front fences should complement the design of the dwelling and any front fences on adjoining properties</i>	Yes	Complies Plans show the fence is 1.2 metres high
	NCO4 modified standard <i>A front fence within 3 metres of a street should not exceed a height of 1.2 metres</i>	Yes	
55.06-3 Common property objective	Standard B33	Met	Comments
<i>To ensure that communal open space, car parking, access lanes and site facilities are practical, attractive and easily maintained</i> <i>To avoid future management difficulties in areas of common ownership</i>	<i>Developments should clearly delineate public, communal and private areas</i>	NA	
	<i>Common property, should be functional and capable of efficient management</i>	NA	
55.06-4 Site service objective	Standard B34	Met	Comments
<i>To ensure that site services can be installed and easily maintained</i> <i>To ensure that site facilities are accessible, adequate and attractive</i>	<i>The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically</i>	Yes	Complies with condition Bin storage areas are provided within the garaging A condition in the recommendation requires that mailboxes are provided for each dwelling
	<i>Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development</i>	Yes	
	<i>Bin and recycling enclosures should be located for convenient access</i>	Yes	
	<i>Mailboxes should be provided and located for convenient access by Australia Post</i>	Yes	

APPENDIX LAND USAGE - PRECINCTS 4 AND 9, TOWNSHIP ZONE, DAYLESFORD

AREA BOUND BY WEST ST (WEST), HOSPITAL ST (SOUTH), MIDLAND HIGHWAY (NORTH), RANCH RD								
SINGLE	DOUBLE	EXTENSION	COMMERCIAL	VACANT	STREET NAME	NO.	CAR PARKING	
							Side or rear	front yard
Single					Ajax road	1	X	
Single					Ajax road	1A	X	
Single					Ajax road	1B	X	
Single					Ajax road	2	X	
Single					Ajax road	4	X	
Single					Fulcher Street	1	X	
Single					Fulcher Street	3	X	
Single					Fulcher Street	5	X	
Single					Raglan Street	131	X	
Single					Raglan Street	134	X	
Single					Raglan Street	132	X	
Single					Raglan Street	130-1	X	
Single					Raglan Street	130-2	X	
Single					Raglan Street	130-3	X	
	Double				Raglan Street	124		X
Single					Raglan Street	122	X	
Single					Raglan Street	121	X	
Single					Raglan Street	120	X	
Single					Raglan Street	118	X	
Single					Raglan Street	116	X	
Single					Raglan Street	115	X	
Single					Raglan Street	114	X	
Single					Raglan Street	113-1	X	
Single					Raglan Street	113-2	X	
Single					Raglan Street	112	X	

Single				Raglan Street	111	X	
Single				Raglan Street	110	X	
Single				Raglan Street	109	X	
Single				Raglan Street	108	X	
Single				Raglan Street	107a	X	
Single				Raglan Street	107	X	
Single				Raglan Street	106	X	
Single				Raglan Street	105	X	
Single				Cobbers Lane	1	X	
Single				Cobbers Lane	2	X	
Single				Cobbers Lane	2a	X	
Single				Cobbers Lane	3	X	
Single				Cobbers Lane	5	X	
Single				Cobbers Lane	7	X	
Single				Cobbers Lane	9	X	
Single				Cobbers Lane	11	X	
		extension		West street (West side only)	42	X	
Single				West street (West side only)	44	X	
Single				West street (West side only)	46	X	
Single				West street (West side only)	48	X	
Single				West street (West side only)	50	X	
Single				West street (West side only)	52	X	
Single				West street (West side only)	54	X	
Single				Perrins Street	2	X	
Single				Perrins Street	4	X	
Single				Perrins Street	6	X	
	Double			Perrins Street	6a	X	
Single				Perrins Street	8	X	
Single				Perrins Street	10	X	
Single				Perrins Street	1	X	
Single				Perrins Street	3	X	
Single				Perrins Street	5	X	
Single				Perrins Street	7	X	

		extension			Perrins Street	9	X	
Single					Morris Street	1	X	
	Double				Morris Street	2	X	
Single					Morris Street	3	X	
Single					Morris Street	4	X	
Single					Langdon Court	1	X	
Single					Langdon Court	5	X	
Single					Langdon Court	9	X	
Single					Langdon Court	13	X	
Single					Langdon Court	15	X	
Single					Langdon Court	17	X	
Single					Langdon Court	19	X	
Single					Langdon Court	21		X
Single					Langdon Court	25	X	
Single					Langdon Court	14	X	
Single					Langdon Court	12	X	
Single					Langdon Court	8	X	
			BUS DEPOT		Raglan Street	128	not applicable	not applicable
				vacant	Langdon Court	6	not applicable	not applicable
				vacant	Langdon Court	10	not applicable	not applicable
				vacant	Ajax road	3	not applicable	not applicable
				vacant	Cobbers Lane	4	not applicable	not applicable
				vacant	Perrins Street	12	not applicable	not applicable
70	3	2	1	5				73
single story builds	double story builds	upper 2nd fl extensions builds	Commercial use block	vacant blocks				rear /side parking
								front yard parking

As being a resident in this area I totally object to this type of building going ahead as it will be looking right into my back yard, and also having an extra block if I was to sub divide I would have trouble selling because they would be looking straight into there back yard and have no privacy what so ever :



Permit application no. PLN23/0120

Proposal: Development of land for two dwellings on a lot and to demolish shed

Who has applied for the permit: M J de Frutos Nominees Pty Ltd t/a Jannand Place Management

WHAT ARE THE REASONS FOR YOUR OBJECTION?

Overlooking. As identified within the application on sheet TP10, the 9m overlooking arc is within our property boundaries, acknowledging within their own application the proposal does not comply to rescode. The overlooking diagram within the same page to the right identifies a section drawing with a person standing behind a table. If the diagram was drawn correctly, this would have the person shown around 700mm closer to the window as appropriate for demonstrating overlooking. This now identifies overlooking by around 1.6m into our Private Secluded Open Space.

Clause 15.01-5L-01 – Neighbourhood Character in Daylesford & Clause 43.05 Neighbourhood Character Overlay: page 17 of planning report states non reflective surfaces. Around 75% of the entire northern facade of both proposed dwellings are highly reflective glazed elements. With a 9m height and the proposed dwellings being sighted on the highest part of the ridge line they will directly reflect light and overlook into 2 Cobblers lane as well as other adjoining properties.

HOW WILL YOU BE AFFECTED BY THE GRANT OF A PERMIT?

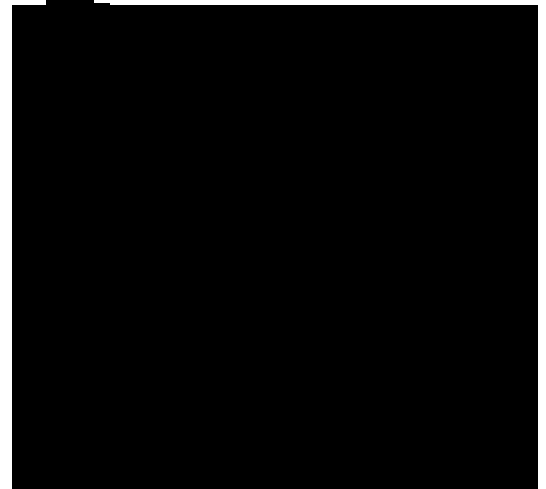
Photos attached. The proposed dwelling to the East looks directly into our private secluded open space, formal garden. Directly into our lounge room, main bathroom and bedroom. The proposal does not clearly show or identify the significants of the overlooking. Due to the topography of the proposed and existing site, the proposed roof top will be around 13m above our property, with anyone on the balcony looking directly into our PSOS.

If insufficient space, please attach separate sheet

Your objection and the personal information on this form is collected by council for the purposes of the planning process as set out in the Planning and Environment Act 1987 (PE Act). If you do not provide your name and address, council will not be able to consider your objection. Your personal details will be redacted through the planning permit process. Your redacted objection will be available at the council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the PE Act.

Signature:

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the Responsible Authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the Responsible Authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the Responsible Authority as shown on the Public Notice – Application for a Planning Permit.
4. An objection must:
 - state the reasons for your objection, and
 - state how you would be affected if a permit is granted.
5. The Responsible Authority may reject an application for objection which it considers has been made primarily to secure or to maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the Responsible Authority considers your objection, make sure that the Authority receives it by the date shown in the notice of Advertising.
9. If you object before the Responsible Authority makes a decision, the Authority will tell you its decision.
10. If despite your objection the Responsible Authority decided to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An application for review (appeal) must be made on a prescribed form, obtainable from the Victorian Civil and Administrative Tribunal and accompanied by the prescribed fee. A copy must be given to the Responsible Authority. The closing date for appeals is 28 days of the Responsible Authority giving notice of its decision.
11. If the Responsible Authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.



Planning Department
Hepburn Shire Council
PO Box 21
Daylesford
Vic 3460
shire@hepburn.vic.gov.au

Objection to Planning Proposal PLN 23/0120

Lot 1 TP 942639 PSH PWO

Lot 1 PS 647612 PSH PWO

121 Raglan Street DAYLESFORD VIC 3460

Development of land for two dwellings on a lot and to demolish shed

Your ref. 101937/P

Dear Planning Department Team

Thank you for the Notice of Application for a Planning Permit for the above proposal which I received by mail on 7th August. I would like to object to the proposal, as follows:

Introduction

My property, [REDACTED] the land referred to in the application. It borders it to both the north and west of the Applicant's land, as shown approximately in *Figure 1. Zoning* of their Bushfire Management Statement. There is a common fence on each boundary.

In several maps in the applicant's proposal (TP01 – TP05 inclusive, TP10, the James Lawson Landscape Design Plan, and the Proposed Plan of Subdivision), our land is designated as "No. [REDACTED] *Vacant*". This is incorrect and misleading. The entire property (on two titles), is recognized by Hepburn Council as "No. [REDACTED] and this is the official rating address. The property has always been lived in as a single entity, and has the original 1914 dairy farmhouse and a large formal garden containing shrubs, trees, garden beds and paths, extending without interruption to both of the borders with the Applicant's land (as shown, to some extent, in Photos 10, 12, 14 and 15 of their proposal). My husband [REDACTED] and I live there permanently and use the section neighbouring the Applicant's land constantly for gardening and relaxation.

My opposition to the proposal is based on negative impacts on my amenity which conflict with the Hepburn Planning Scheme as follows:

Reasons for the Objection

1. Adverse affect on neighbourhood character

The proposed tall (maximum 9 m) and conspicuous two-storey buildings and aspects of their design and placement are out of character with almost all other buildings in the neighbourhood. Their very elevated position and the proposed near-complete clearance of the existing screening vegetation around the block will greatly aggravate this. They will overbear much of my property and those of other residents as well as the landscape from a considerable distance away. My detailed response is outlined below, with reference to some of the dot-pointed Decision Guidelines regarding neighbourhood character contained in section 5.0 of the

Neighbourhood Character Overlay for Precinct 9. (Refce: Schedule 4 to Clause 43.05 Neighbourhood Character Overlay, Daylesford Neighbourhood Character Precinct 9, Sections 1.0 to 5.0)

- *Whether the building design reflects the dominant building forms in the street, including roof form, in areas where the streetscape contains identified heritage buildings.*

The proposed buildings are very high and obtrusive two-storey structures with prominent gable roofs, reaching as high as the absolute maximum permissible of 9 metres with the “overall” height stated to be 8.5 m.

In the relevant nearby section of Raglan Street, from West Street to its intersection with Lavender Lane (*i.e.* just beyond Ajax Road), there is only one existing two-storey building. There are 37 single storey buildings of a generally modest size and character, *i.e.* this is the dominant building form. The street includes heritage dwellings dating from the 19th and early twentieth centuries, including miners’ cottages. The closely-surrounding streets north of the Midland Highway are also dominated by similar single storey dwellings, with houses at Perrins St, West Street and Harts Lane recorded as Heritage Places in the Hepburn Planning Scheme. A spreadsheet listing the form of the close neighbourhood dwellings is attached (Appendix 1).

Apart from their height, the form of the buildings is out of character with other neighbourhood dwellings. This includes their excessive bulk, and their overwhelming and stark appearance, especially from the sides. There is no discernible reference in their design to the character of the majority of existing buildings in the area. The large double garages and water tanks placed prominently at the front of the proposed houses breaks the continuity with neighbouring dwellings (all but two of which restrict car parking to the rear or sides of the properties, and none have water tanks in their front yards). While balconies of the current double-storey buildings in the area all face the front yard and public street, those in the present proposal are at the rear of the properties, overlooking neighbours’ backyards. The overuse of glass on the north-facing walls as far as the rooflines – seemingly encompassing close to 70% of the facades – is of particular concern, as a wide arc of lower-lying properties and streets for a considerable distance risk the occurrence of dazzling sun reflections.

- *Whether the building has been sited away from a ridgeline and avoids being visible when viewed from lower areas.* This Guideline reflects Schedule 4 to Clause 43.05 (1.0) “Ensuring that new buildings do not dominate the streetscape and wider landscape setting” and the Precinct 9 Objective of “minimis[ing] site disturbance and *reduc[ing] the dominance and impact of buildings on the landscape*”.

The statement in the report that “... two storey dwellings will not be highly visible ... from the surrounds” is plainly incorrect (Planning Report p.8) and in conflict with the guideline. The proposed buildings will be highly visible from lower streets and properties, including (but not limited to) the entire eastern side of our own property and those of others in Langdon Court and Cobblers Lane. On visual inspection, it is immediately obvious that the land in the proposal is well elevated over much of the surrounding area. It sits on a ridge running approximately from the high hedge on the corner of Ajax Road and Raglan Street, across the top of our own property and the land in the proposal, before continuing across Raglan Street and along part of Perrins Street. This ridge is obvious to anyone driving (or, especially, walking) up Raglan Street from below Cobblers Lane, over the top, and down to Ajax Road. The flow from the watershed is generally towards Cobblers Creek to the north west and, on the other side, towards Sailors Creek to the south east. Significantly, when the property was advertised for sale by Biggin and Scott in 2022, it was described as “high on the rise with spectacular 360 degree views of Mt Franklin, Daylesford township and the Wombat Forest” - see <https://www.realestate.com.au/sold/property-unit-vic-daylesford-139881027>

While the applicant’s proposal makes some attempt to deal with the visual impact of the buildings on the streetscape along Raglan Street, the effect on the lower land to the rear (*i.e.* north) of the property is conspicuously ignored. At approximately 583-584 metres, the Applicant’s land is amongst the highest in the local vicinity. It is significantly higher than the surrounding properties along most of nearby Cobblers Lane (average street height about 572 m), Cobblers Gully, and Langdon Court (average street height about 571 m). At 9 metres tall (raising them to a height of up to 593 m), the buildings will visually dominate much of the land behind these streets. The effect will be worsened by their placement closer than necessary to the property’s rear boundary, their excessive bulk, and the high proportion of reflective glass in their northern faces. There will apparently be no

attempt to plant screening trees along the north fenceline to mitigate this visual impact. Rather, the plans show that the existing screening pandanus and other trees along the boundary fence to the north of the property will be removed entirely, with no new ones planted to replace them (see landscape plot by James Dawson Design on the page before plan TP01). The deliberate location of the garages at the front of the buildings, with the second storey fully exposed at the rear, further emphasises the complete lack of consideration given to the visual impact on the lower land to the north.

Other than the above, the buildings will be quite dominating and conspicuous when seen from the upper portion of Raglan Street (including the unsealed section beyond Ajax Road) and, potentially, the proposed future Victorian Goldfields UNESCO World Heritage site. The existing dense screening shrubs which currently occupy the proposed gravel driveway to the east will be removed, allowing a direct view of the buildings from both proposed driveways. It is uncertain whether the proposed retention of the three trees along the central portion of the front fence will be permitted, as their canopies overlap.

From the south-west, the applicants state that “When viewing the site from ... Ajax Road, it was not possible to see *the rear of the site*” – the houses will however be visible! It is true that, to some extent, the view from this direction is masked by the row of pine and native trees on our own property, but this is not on land under the applicants’ legal control.

- Whether the building has been designed within the predominant tree canopy height

The tree canopy on the property will be too low to mask the dominating visual impact of the building as seen from our garden. In their Planning Report (p.17), the Applicants state that the existing trees on site vary from 1m to 5.5 m in height, with an estimate of 3 m as the predominant height. This is well below the planned 9 m maximum (8.5 m overall) height of the building, so this decision criterion is not met. Most of the existing vegetation will, in any event, be cleared. As stated above, none of the proposed future plantings are large trees, and will not provide screening of the buildings. The row of tall pines on our property does provide limited screening over a narrow angle to the west, but has no effect elsewhere.

Other plantings on neighbouring properties are well below 9 metres, and could not serve as screening, even if they were in the Applicants' legal control.

- Whether the building is appropriate to the building *era* of the area.

This guideline is clearly not fulfilled (see discussion under the first dot point).

- Whether an acceptable landscape plan that includes appropriate low maintenance species has been prepared.

The proposed landscape planting (before map TP01) is entirely confined to boundaries other than those to the north (ours and that of Mr Cross), where nothing is apparently to be planted! No screening trees to mitigate the visual impact of the buildings on the affected land at lower elevations to the north is proposed. The west side of the property adjoining our fence is also apparently to be devoid of plantings. No large trees will be planted anywhere. The tallest are the sticky hop bushes, which *may* grow at maturity to up to 4 metres – they are to be planted only along the fence adjacent to No 119, along with a selection of other shrubs, presumably to provide a visual screen from that property. We suggest that this Decision Criterion is also not met.

The proposal entails the replacement of a substantial existing garden of mature trees and shrubs with a much smaller number of mainly small new plantings, the viability of which is not guaranteed. It appears very much at odds with the first of the stated Neighbourhood Character Objectives for Precinct 9 - *To maintain and strengthen the garden settings of dwellings and the relationship to the vegetation qualities of Wombat Hill.*

2. Intrusion into secluded private open space

(a) Upstairs bathroom windows

The windows of the upstairs bathrooms in the west wall of the westernmost building, are well within 9 metres of the eastern boundary of the top section of our property, and thus clearly overlook our secluded private open space, in contradiction to Section 52.20 – 6.13.

(b) Inadequate fence on western side

Plans TP01-TP03, TP09 and the James Dawson Design Landscape Plan show that it is proposed to retain the existing fence on the western border with our property. This is merely a low galvanized iron (mainly) fence, averaging about 850 mm high, topped with 200-550 mm of barbed wire strands, the latter providing no screening whatever between the properties. The proposed western-side building is only 3 m to 5.775 m away from this fence, with large floor-to-ceiling windows that would overlook our secluded private open space at ground floor level. There is a manifest and extreme lack of privacy for both parties. The situation was tolerable in the past as the dwelling (proposed to be demolished) was much further away, had no overlooking windows, and was shielded from us by the thick existing plantings along the borderline on the neighbour's side. These will now be entirely removed, and the Landscape Design plan shows that nothing will be re-planted in their place to mitigate the privacy issue. The plan refers to an "existing vegetation screen" on our side, however this is not continuous, and can easily be seen through, especially all through winter and early spring. This is because the only trees capable of screening the view are deciduous and offer negligible visual protection at that time. The five small slow-growing conifers are much too far apart to form a screen and will take years even to reach normal fence height (see photo 15 of the Application).

The plan is entirely inappropriate for a side fence in what will become an essentially urban setting if the proposal goes ahead. The entire fence should be replaced with a 2000 mm high paling fence, as planned for the other (northern) border with our property. As the need for it is a direct consequence of the development proposal, we believe that, if the proposal goes ahead, this should be specified to be erected at the Applicant's expense.

(c) Overlooking from balcony

The corner of the balcony at the north west corner of the westernmost of the two buildings (plan TP04) appears to protrude into our private open space by slightly more than the allowed 9.0 metres (by just less than a metre measured along the fence and a maximum of about half a metre measured perpendicularly from the fence). This needs to be investigated, since a part screen may be required. (These measurements were made according to section 52.20 – 6.13 of the Hepburn

Planning Scheme). Note that the applicant's method of calculating the overlook in the inset A-A to plan TP10 appears to be in error, as the view is measured approximately 1 metre back from the plane of the balcony perimeter or window, not at the plane as specified.

3. Noise

Both proposed buildings have upstairs balconies at the rear of the property, facing the north. They will overlook our garden and - further down the property - our bedrooms. The steep downward slope of the land northwards along our property makes for a natural amphitheatre that amplifies noise. There is the potential for serious noise problems for us from parties and entertainment activities held on the balconies, especially if they are rented out as holiday accommodation. This will be aggravated by the planned removal of all screening vegetation. We disagree with the applicants' contention on p.23 of their Planning Report that, with respect to Standard N24, "there are no noise sources that may affect existing dwellings". The applicants do not attest that this criterion has been satisfied, rather only "considered".

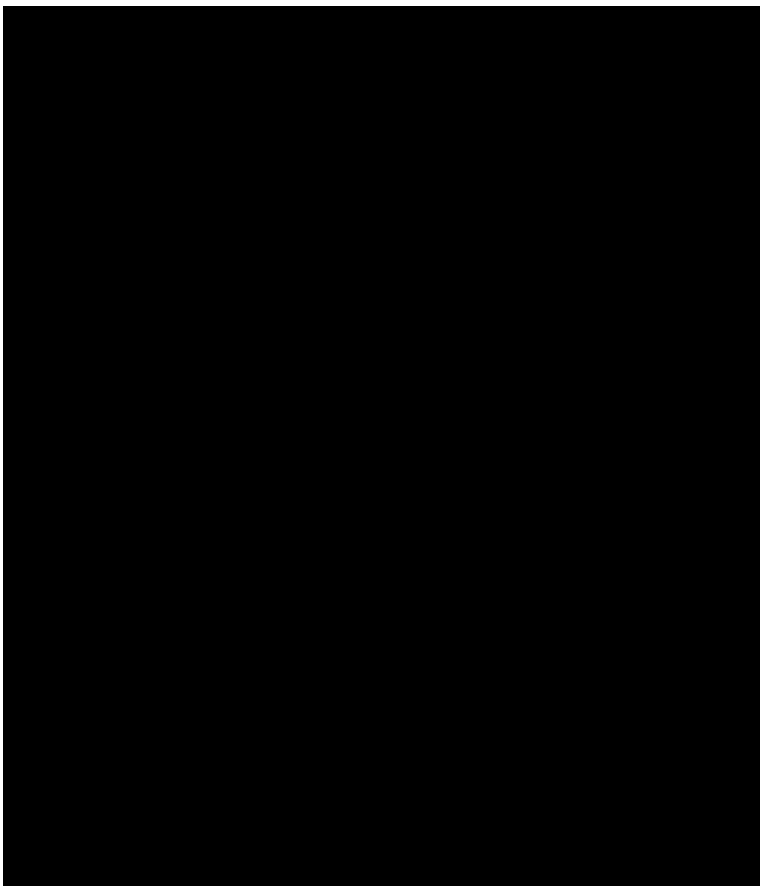
4. Loss of original native vegetation

Situated at the extreme south-western corner of the applicant's property, adjacent to our common western fence, there is a tall and large indigenous Silver Banksia (*Banksia marginata*) which has been identified by local horticulturalist and tree specialist John Beetham (https://www.instagram.com/john_beetham_treesinaustralia/) as original (unplanted) native vegetation. It enhances both our properties and attracts a large number of honeyeaters and Black Cockatoos to both the Applicant's and our garden. Currently it appears to be slated for removal (Bushfire Management Statement, 1 Summary). It needs to be protected.

Conclusion

We wish to stress that we are not necessarily opposed to the subdivision or construction of a building or buildings on the Applicant's property, provided that our objections can be overcome. This could be achieved by restricting the buildings to single-storey. Double-storey buildings are out of the general character of the neighbourhood and, in accordance with the Planning Scheme, should not be allowed to become the accepted norm for new buildings.

We are not opposed to the demolition of the single storey "sheds" referred to in the proposal, although it is unclear why they are now described in this way, given the 2022 sale notice (see url above) refers to them correctly as an "Existing Studio with permanent rental income" and a double garage. We have lived harmoniously with the various occupants of the Studio over many years.



Reason(s) for the submission/objection -

Sent from Mail for Windows

APPLICATION NO: PLN23/0120

ADDRESS: 121 Raglan Street, Daylesford Vic 3460

Lot 1 TP 942639 PSH PWO

Lot 1 PS 647612PSH PWO

Development of land for two two-storey dwellings on a lot and to demolish shed

The applicant for the permit is: Jannand Place Management

I object to PLN23/0120 and would seek a modification to the height and design concept of the proposed two dwelling development. I request that the Shire Planning Office further assess the development application based on:

- the height of the two two-storey dwellings being 9 metres combined with approximately 70% glass wall and gable predominantly facing North and affecting privacy to rear neighbouring properties. The North facing balcony on each dwelling will further compromise privacy to rear neighbouring properties by a direct overlooking line of sight;
- without a height indicator in place, I assess that the two dwellings from their uppermost balconies and windows will have a view of sight into my property (7 Cobblers Lane), which may breach the privacy of my property overlooking my gardens which are extensively used for the enjoyment of gardening, leisure, relaxation and contemplation of plantings;
- a more direct view from the two dwellings to existing properties at 1 Langdon Court, and 5 Langdon Court; and the backyard of 3 Cobblers Lane will be significant; compromising the peace and privacy these properties have enjoyed over many years;
- the two dwellings do not fit into the predominant neighbourhood character of this area which have houses that have a single storey development pattern. The two dwellings may dominate the local area streetscape;
- there may also be potential noise issues transmitting from the uppermost height of the two dwellings from their balconies and windows, in which case would compromise the peacefulness of properties identified in this objection.

Permit application no. PLN 23/0120

Proposal: DEMOLISH SHED & BUILD 2 DWELLINGS

Who has applied for the permit: JANNARD PLACE MANAGEMENT

WHAT ARE THE REASONS FOR YOUR OBJECTION?

- 1/ THE LIVING ROOMS & BALCONIES HAVE UNOBSTRUCTED VIEWS INTO OUR LIVING AREA, BATHROOM & BEDROOM. THEY WOULD ALSO OVERLOOK OUR OUTDOOR LIVING AREA.
- 2/ THE BALCONIES ARE A POTENTIAL PROBLEM FOR NOISE AS WELL AS OVERLOOKING.
- 3/ THE PROPOSED BUILDINGS ARE MORE THAN 10 METERS ABOVE OUR LIVING ROOMS AND COMPLETELY DOMINATE OUR PROPERTY

HOW WILL YOU BE AFFECTED BY THE GRANT OF A PERMIT?

- 1/ LOSS OF PRIVACY
- 2/ POTENTIAL FOR INTRUSIVE NOISE
- 3/ POTENTIAL FOR REAL ESTATE DEVALUATION.

HEPBURN SHIRE COUNCIL

File No:

Rec'd Date: 22 AUG 2023

Rec'd By: DEACAN - DUKE

Action By:

Reg No:

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If insufficient space, please attach separate sheet

Privacy Collection Notice

Your objection and the personal information on this form is collected by council for the purposes of the planning process as set out in the Planning and Environment Act 1987 (PE Act). If you do not provide your name and address, council will not be able to consider your objection. Your personal details will be redacted through the planning permit process. Your redacted objection will be available at the council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the PE Act.

1. This form is to help you make an objection to an application in a way which complies with the Planning and Environment Act 1987, and which can be readily understood by the Responsible Authority. There is no requirement under the Act that you use any particular form.
2. Make sure you clearly understand what is proposed before you make an objection. You should inspect the application at the Responsible Authority's office.
3. To make an objection you should clearly complete the details on this form and lodge it with the Responsible Authority as shown on the Public Notice – Application for a Planning Permit.
4. An objection must:
 - state the reasons for your objection, and
 - state how you would be affected if a permit is granted.
5. The Responsible Authority may reject an application for objection which it considers has been made primarily to secure or to maintain a direct or indirect commercial advantage for the objector. In this case, the Act applies as if the objection had not been made.
6. Any person may inspect an objection during office hours.
7. If your objection related to an effect on property other than at your address as shown on this form, give details of that property and of your interest in it.
8. To ensure the Responsible Authority considers your objection, make sure that the Authority receives it by the date shown in the notice of Advertising.
9. If you object before the Responsible Authority makes a decision, the Authority will tell you its decision.
10. If despite your objection the Responsible Authority decided to grant the permit, you can appeal against the decision. Details of the appeal procedures are set out on the back of the Notice of Decision which you will receive. An application for review (appeal) must be made on a prescribed form, obtainable from the Victorian Civil and Administrative Tribunal and accompanied by the prescribed fee. A copy must be given to the Responsible Authority. The closing date for appeals is 28 days of the Responsible Authority giving notice of its decision.
11. If the Responsible Authority refuses the application, the applicant can also appeal. The provisions are set out on the Refusal of Planning Application which will be issued at that time.

APPLICATION NO: PLN23/0120

ADDRESS: 121 Raglan Street, Daylesford Vic 3460

Lot 1 TP 942639 PSH PWO

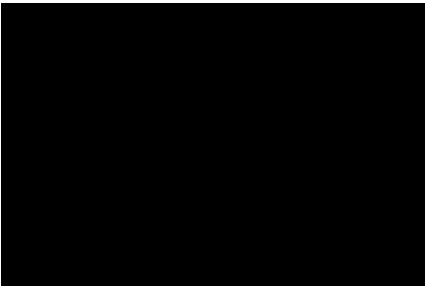
Lot 1 PS 647612PSH PWO


Development of land for two two-storey dwellings on a lot and to demolish shed

The applicant for the permit is: Jannand Place Management

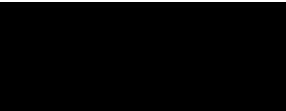
I object to PLN23/0120 and would seek a modification to the height and design concept of the proposed development. I request that the Shire Planning Office assess this application based on:

- the height of the two two-storey dwelling being 9 metres high with approximately 70% glass wall and gable; plus a balcony on each upstairs floors facing North. These windows and balconies will provide a view into my property [REDACTED] along with a more direct view from the properties at 1 Langdon Court, and 5 Langdon Court; and the backyard of 3 Cobblers Lane. There may also be potential noise issues from these windows and balconies.





Reason(s) for the submission/objection –

1. On the section drawing of the overlooking diagram it shows the 9 meter set back finishing inside the balcony on the first floor. This is not shown at the handrail but set inside the balcony. This is drawn or dimensioned incorrectly.
 2. The set back from the northern boundary is only 6.8 meters and at that point the gable is 9 meters high. Considering that the existing dwelling at 3 Cobblers lane is cut into the land approx 3 meters then the ridge of the gable of the proposed structure will sit approx 12 meters above the floor level of the existing residence. This will completely dwarf 3 Cobblers lane and provide There is considerable overlooking into both the private open space and living areas of Cobblers lane.
 3. The proposed building has a significant bulk to the proposal which is not consistent with the generally single storey buildings in Raglan street and the surrounding area.
- 

Attention planning department,

I would have expected that the planning submission includes a plan that demonstrates how the proposed building envelope compares to the previously approved envelope and also the height of the proposed building compared to the previous approval. This would allow us to carefully consider the proposal particularly when the applicant is using the basis of a previous permit as support of their application.

Regards



Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.



Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.



Questions marked with an asterisk (*) must be completed.



If the space provided on the form is insufficient, attach a separate sheet.



Click for further information.

Clear Form

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.:	St. Name:
Suburb/Locality:		Postcode:

Formal Land Description *

Complete either A or B.



This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.:	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.:
OR					
B	Crown Allotment No.:	Section No.:			
Parish/Township Name:					

The Proposal



You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.



For what use, development or other matter do you require a permit? *

Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.



Estimated cost of any development for which the permit is required *

Cost \$




You may be required to verify this estimate. Insert '0' if no development is proposed.

Existing Conditions i

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.


 Provide a plan of the existing conditions. Photos are also helpful.

Title Information i

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☐ No
- ☐ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details i

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

If it is a P.O. Box, enter the details here:

Contact information for applicant OR contact person below

Business phone:

Email:

Mobile phone:

Fax:

Contact person's details* Same as applicant ☐

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

If it is a P.O. Box, enter the details here:


Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:

Date:

day / month / year

If completing this form electronically, please tick the box to the right, include a date and type your name above to serve as a declaration that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

☐ No

☐ Yes

If 'Yes', with whom?:

Date:


day / month / year


Checklist

Have you:

☐ Filled in the form completely?

☐ Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 ☐ Provided all necessary supporting information and documents?

☐ A full, current copy of title information for each individual parcel of land forming the subject site.

☐ A plan of existing conditions.

☐ Plans showing the layout and details of the proposal.

☐ Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

☐ If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).

☐ Completed the relevant council planning permit checklist?

☐ Signed the declaration above?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Planning Department
Hepburn Shire Council
PO Box 21
Daylesford VIC 3460

Customer Service Centre
Cnr Duke & Albert Streets
Daylesford VIC 3460

Contact information:

Phone: (03) 5348 1577

Email: shire@hepburn.vic.gov.au

Deliver application in person, by post or by electronic lodgement.

Privacy Statement

Your application and the personal information on this form is collected by council for the purposes of the planning process as set out in the Planning and Environment Act 1987 (PE Act). If you do not provide your name and address, council will not be able to consider your application. Your application will be available at the council office for any person to inspect and copies may be made available on request to any person for the relevant period set out in the PE Act.

You must not submit any personal information or copyright material of third parties without their informed consent. By submitting the material, you agree that the use of the material as detailed above does not breach any third party's right to privacy and copyright. You can request access to your personal information by contacting Councils Governance Department.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 11599 FOLIO 819

Security no : 124105261598X
Produced 09/04/2023 03:27 PM

LAND DESCRIPTION

Lot 1 on Title Plan 942639D.
PARENT TITLE Volume 00188 Folio 526
Created by Application No. 132742P 22/09/2015

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP942639D FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 121 RAGLAN STREET DAYLESFORD VIC 3460

ADMINISTRATIVE NOTICES

NIL

eCT Control 17480L EASTERN BRIDGE
Effective from 31/10/2022

DOCUMENT END

FINAL SEARCH STATEMENT

Land Use Victoria

Page 1 of 1

Security No : 124105261625T
Produced 09/04/2023 03:34 PM

Volume 11599 Folio 819

ACTIVITY IN THE LAST 125 DAYS

NIL

ADMINISTRATIVE NOTICES

NIL

eCT Control 17480L EASTERN BRIDGE
Effective from 31/10/2022

STATEMENT END

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 11281 FOLIO 557

Security no : 124105261599W
Produced 09/04/2023 03:27 PM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 647612J.

PARENT TITLES :

Volume 09548 Folio 895 to Volume 09548 Folio 896

Created by instrument PS647612J 01/07/2011

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS647612J FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 121 RAGLAN STREET DAYLESFORD VIC 3460

ADMINISTRATIVE NOTICES

NIL

eCT Control 17480L EASTERN BRIDGE
Effective from 31/10/2022

OWNERS CORPORATIONS

The land in this folio is affected by
OWNERS CORPORATION 1 PLAN NO. PS647612J

DOCUMENT END

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Document Type	Plan
Document Identification	TP942639D
Number of Pages (excluding this cover sheet)	2
Document Assembled	09/04/2023 15:34

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The document is invalid if this cover sheet is removed or altered.

TITLE PLAN		EDITION 2	ATTACHMENT 10 1 4 TP 942639D
LOCATION OF LAND Parish: WOMBAT Township: - Section: 20 Crown Allotment: 6 (PT) Crown Portion: - Last Plan Reference:- Derived From: VOL. 188 FOL. 526 Depth Limitation: NIL		Notations ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	
Description of Land/Easement Information			THIS PLAN HAS BEEN PREPARED BY LAND REGISTRY, LAND VICTORIA FOR TITLE DIAGRAM PURPOSES COMPILED: Date: 23/07/2009 VERIFIED: A. DALLAS Assistant Registrar of Titles
LENGTHS ARE IN METRES			Sheet 1 of 1 Sheets

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Document Type	Plan
Document Identification	PS647612J
Number of Pages (excluding this cover sheet)	2
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PLAN OF SUBDIVISION

LRS use only

EDITION1

ATTACHMENT 10.1.4
Plan Number

PS 647612J

Location of Land

Parish: Wombat

Section: 20

Crown Allotments: 5(part) & 6(part)

Title References:

Vol: 9548 Fol: 895
9548 896

Last Plan Reference:

Postal Address:

119 Raglan Street, Daylesford, 3460.

Council Certification and Endorsement

Council Name: HEPBURN SHIRE Ref:

1. This plan is certified under section 6 of the Subdivision Act 1988.
2. This plan is certified under section 11(7) of the Subdivision Act 1988.
3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.

Open Space

- (i) A requirement for public open space under section 18 Subdivision Act 1988 has / has not been made.
- (ii) The requirement has been satisfied.
- (iii) The requirement is to be satisfied in Stage

Council Delegate

Council seal

Date

LRS use only

Statement of Compliance / Exemption Statement

Received



Date 29/06/2011

LRS use only

PLAN REGISTERED
TIME 1.47PM
DATE 01/07/2011

GARY M ROBERTSON
Assistant Registrar of Titles

Notations

Depth Limitation: Does not apply

Planning Permit No. N/A

Easement Information

Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	PIPELINES OR ANCILLARY PURPOSES	3	THIS PLAN SECTION 136 OF THE WATER ACT 1989	CENTRAL HIGHLANDS REGION WATER CORPORATION

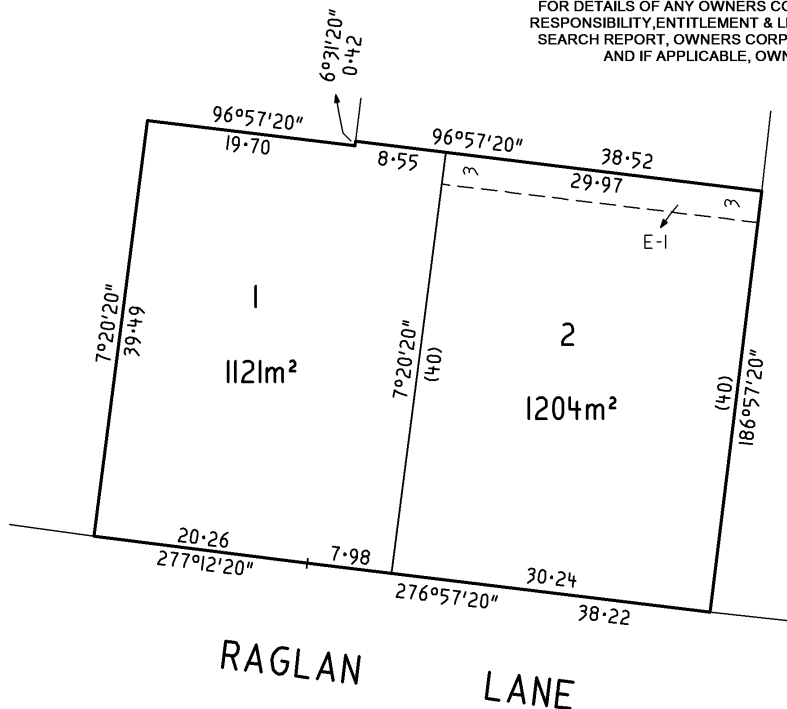
THIS IS A SPEAR PLAN

Survey:- This plan is not based on survey.

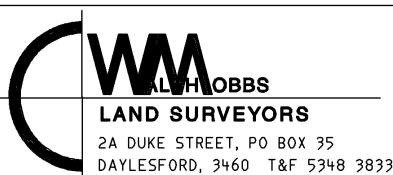
This survey has been connected to permanent marks no(s). N/A
In proclaimed Survey Area no. 50

LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS

FOR DETAILS OF ANY OWNERS CORPORATIONS INCLUDING PURPOSE, RESPONSIBILITY, ENTITLEMENT & LIABILITY SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION ADDITIONAL INFORMATION AND IF APPLICABLE, OWNERS CORPORATION RULES

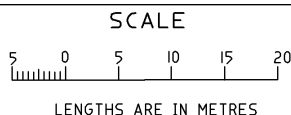


RAGLAN LANE



2A DUKE STREET, PO BOX 35
DAYLESFORD, 3460 T&F 5348 3833

ORIGINAL
SHEET SCALE
A3 1:500



LICENSED SURVEYOR (PRINT) JAMES PATRICK WALSH
SIGNATURE DIGITALLY SIGNED DATE / /
REF 2224 VERSION 1

SHEET 1

DATE / /
COUNCIL DELEGATE SIGNATURE

Plan of Subdivision PS647612J

ATTACHMENT 10.1.4

Certification & Statement of Compliance (Form 6)

SUBDIVISION (PROCEDURES) REGULATIONS 2000

SPEAR Reference Number: S012543B
Plan Number: PS647612J
Council Name: Hepburn Shire Council
Council Reference Number 1: PS647612J
Council Reference Number 2: 102060P
Surveyor's Plan Version: 1

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Statement of Compliance

This is a statement of compliance issued under section 21 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988

Has not been made

Digitally signed by Council Delegate: Norman Latta

Organisation: Hepburn Shire Council

Date: 21/03/2011



Department of Environment, Land, Water & Planning

Owners Corporation Search Report

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Produced: 09/04/2023 03:34:36 PM

OWNERS CORPORATION 1
PLAN NO. PS647612J

The land in PS647612J is affected by 1 Owners Corporation(s)

Land Affected by Owners Corporation:

Lots 1, 2.

Limitations on Owners Corporation:

Limited

Postal Address for Services of Notices:

119 RAGLAN STREET DAYLESFORD VIC 3460

OC011256B 01/07/2011

Owners Corporation Manager:

NIL

Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

Owners Corporation Rules:

NIL

Additional Owners Corporation Information:

OC011256B 01/07/2011

Notations:

NIL

Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 1	100	100
Lot 2	100	100
Total	200.00	200.00

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.

Statement End.

BUSHFIRE MANAGEMENT STATEMENT

**Regional
Planning &
Design Pty Ltd**

Sam Thompson
Director
BApp Sci (Hons)
Landscape Architecture RMIT 1986



**Prepared by Regional Planning &
Design Pty Ltd**
13 Bridport Street Daylesford 3460
Phone 0447 073 107
s.thompsondesign@bigpond.com

**121 Raglan Street, Daylesford
Ref No. 21.237**

Disclaimer

This report has been made with careful consideration and with the best information available to Regional Planning and Design Pty Ltd at the time of writing. Before relying on information in this report, users should evaluate the accuracy, completeness and relevance of the information provided for their purposes. Regional Planning and Design Pty Ltd do not guarantee that it is without flaw or omission of any kind and therefore disclaim all liability for any error, loss or other consequence that may arise from you relying on any information in this report.

Requirements detailed in this document do not guarantee survival of the buildings or the occupants. The client is strongly encouraged to develop and practice a bushfire survival plan. It is also recommended CFA's Landscaping for Bushfire: Garden design and plant selection be read prior to developing the garden

Information and assistance including a template for a Bushfire Survival Plan is provided as part of the 'Fire Ready Kit' available through the CFA website at <http://www.cfa.vic.gov.au> or through your local CFA Regional office.

Version Control

Report Version	Description	Date Completed	Issued to
A	Issued as a draft for discussion	11/6/2021	Client
B	Issued as a final version	21/6/2021	Client
C	General revisions	27/4/2023	Client

1 SUMMARY

Summary	
Date of site visit:	27 th April 2023
Broad landscape setting (Technical Guide Planning Permit Applications – Bushfire Management Overlay)	3
Static water supply requirements	5000 litres in non combustible tank for each dwelling
Access requirements can be met	3.5m wide drive with 4m vertical and 4.5m horizontal clearance.
Defendable Space requirements can be met	BAL 29 for Lot 121B and 12.5 for Lot 121A, based on the hazards of modified vegetation and low threat vegetation
Proposed BAL construction level	BAL 29 for Lot 121B and BAL 12.5 for Lot 121A
Is native vegetation removal required:	Yes, exempt as it is planted vegetation (See Appendix 4)

1 INTRODUCTION

This Bushfire Management Statement (BMS) has been prepared to enable J&A Property Developments to respond to the requirements of Clause 44.06 *Bushfire Management Overlay* (known from this point on as Clause 44.06), and associated Clause 53.02 *Bushfire Protection: Planning Requirements* (known from this point on as Clause 53.02) for the amendment of a recent two lot subdivision and construction of a dwelling on each lot at 121 Raglan Street Daylesford.

The BMS is in two parts

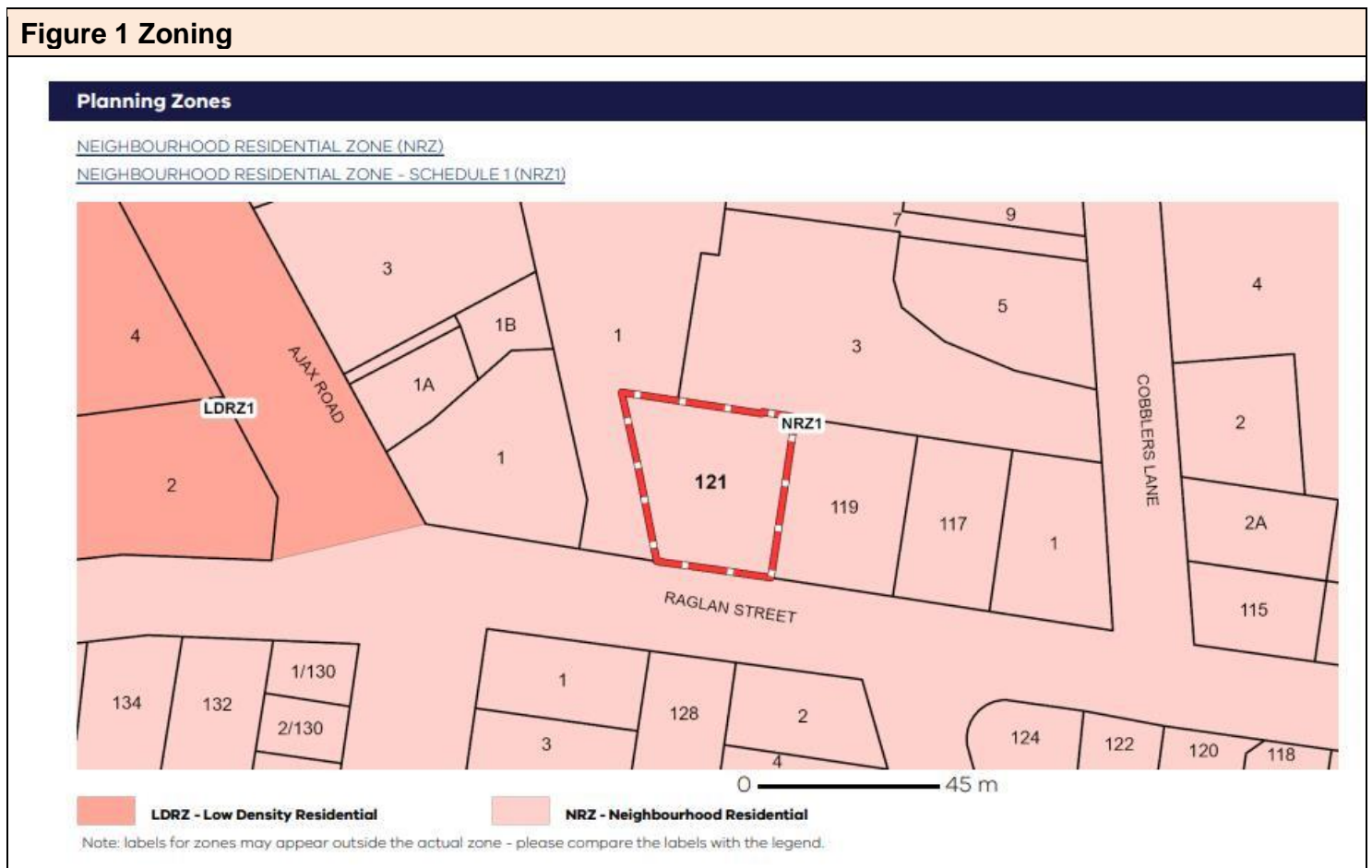
Part 1 Site description, hazard assessment and locality description

Part 2 A Bushfire Management Statement describing how the proposed development responds to the requirements in Clause 53.02 and 44.06.

2 ZONING AND OVERLAYS

Clause Number	Name
32.09	Neighbourhood Residential Zone
44.06	Bushfire Management Overlay (BMO 1 in the eastern portion)
53.02	Planning for Bushfire
42.01	Environmental Significance Overlay (ESO1 and ESO2)

Figure 1 Zoning



Location

The site is located on the north western edge of Daylesford. The block is surrounded by managed residential land and forest in gullies to the east and west.

The site could be vulnerable to long runs of fire from the north west and then south west following a wind change, which often occurs on high fire risk days in summer. This is described in further detail in the Bushfire Hazard Landscape Assessment

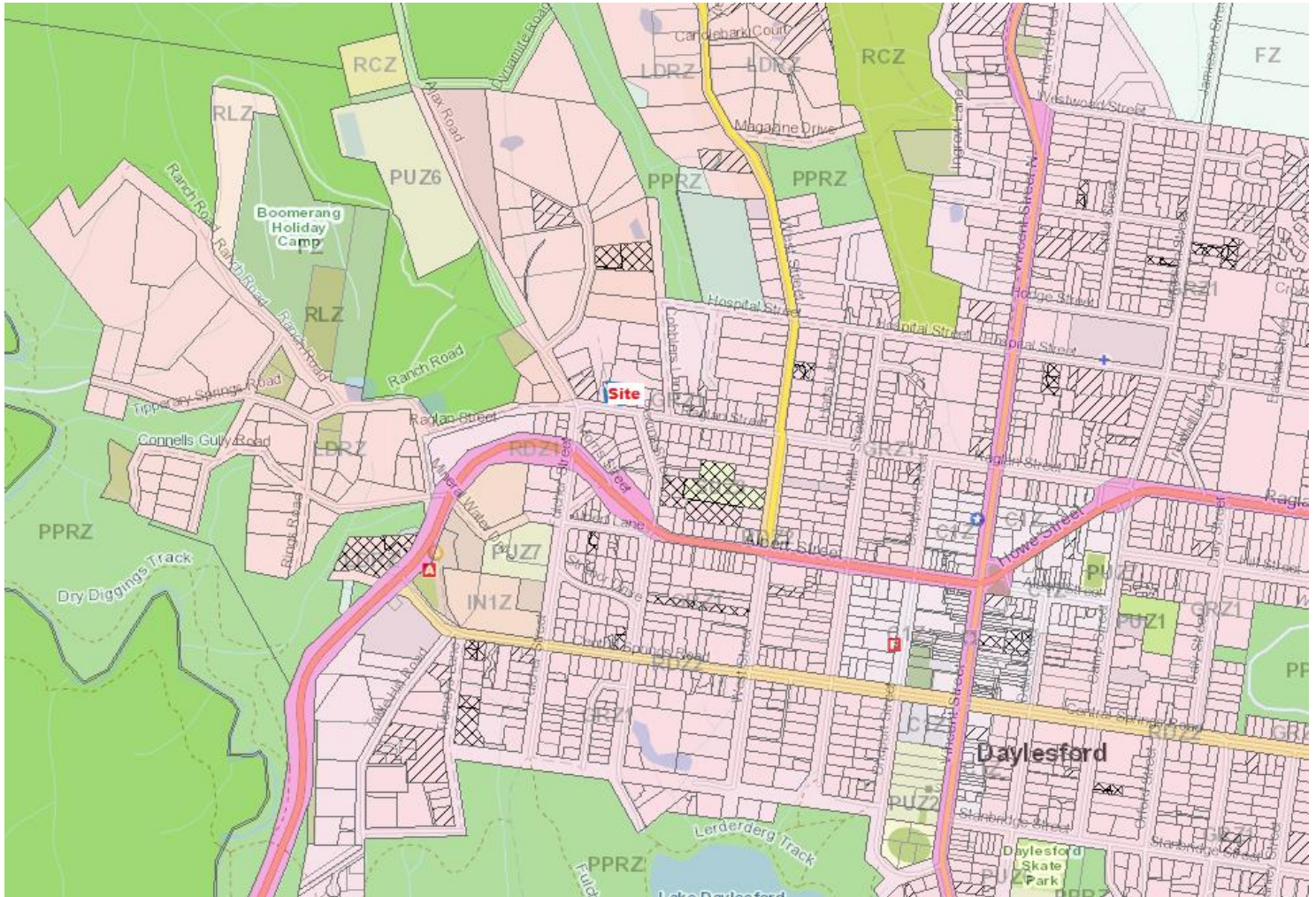


FIGURE 2 LOCATION

3 SITE DESCRIPTION

Site shape, dimensions, size , existing use and buildings and works	
The shape of the site is:	Irregular
The dimensions of the site are:	See Figure 3
The site has a total area of:	1422 m2
The current use of the site is	Residential
The buildings or works located on the site are:	Existing sheds in the northern part (photo 1)
Site topography	The south west area of the site is elevated. There is a general fall across the site on a 1 to 2 degree gradient to the north.
Site vegetation	The site is covered in a managed gardens (photos 2 and 3)
Existing services	Reticulated water, sewer and power is connected to the site

Existing buildings and works



Photo 1 Looking north east to the sheds on the northern boundary of the site

Site photos



Photo 2 Looking east across the central part of the site



Photo 3 Looking north to the sheds from the southern boundary of the site

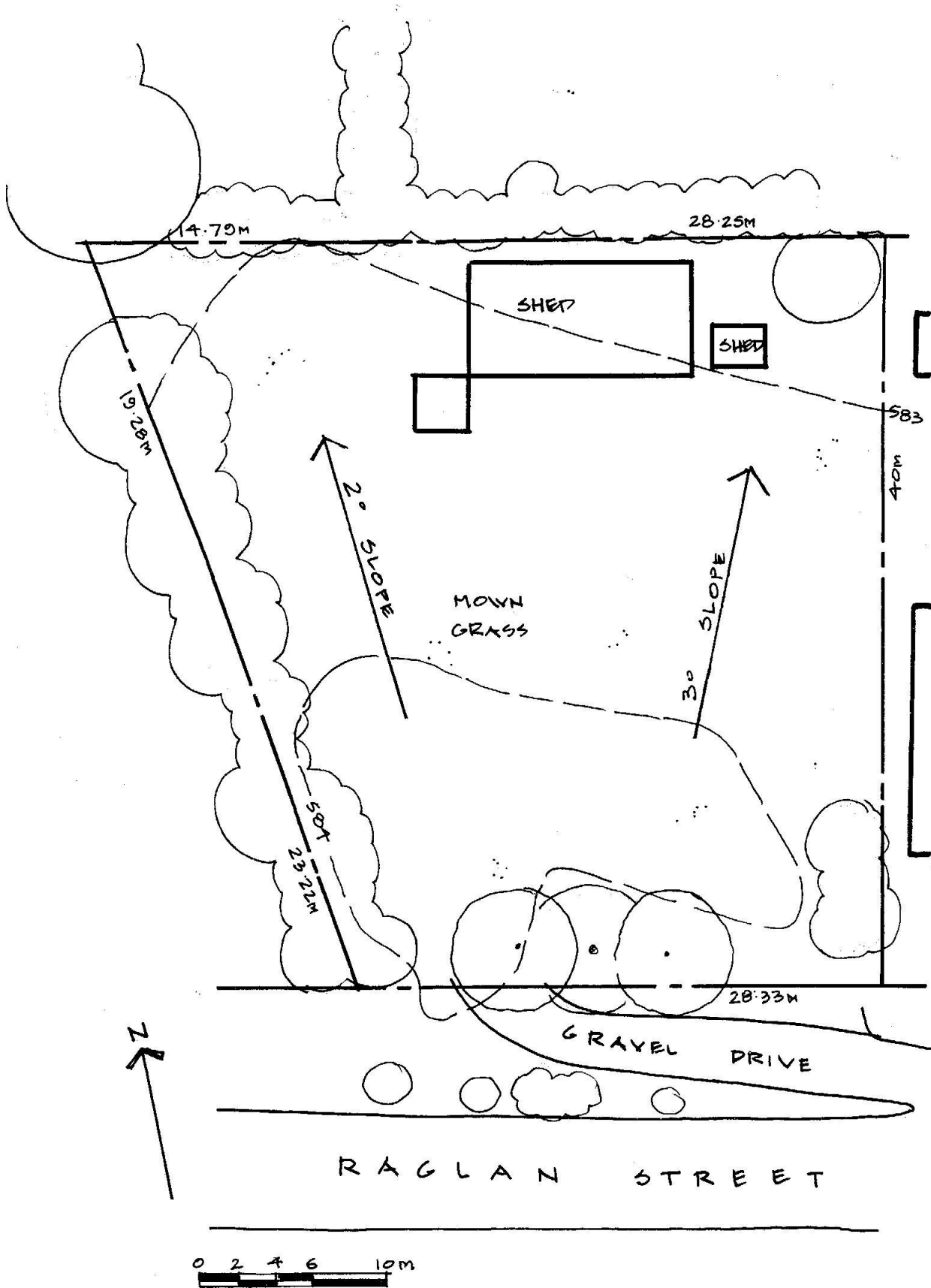


Figure 3 Existing Conditions Plan



Figure 4 Existing Conditions Air Photo

4 ACCESS

The site has access from Raglan Street on the southern boundary (photo 5). This is a sealed road which provides good access to the town of Daylesford to the south east. There is a well made gravel driveway on the southern boundary (photo 4).

Access Photos



Photo 4 Looking west towards the entry of the site on the southern boundary



Photo 5 Looking east along Raglan Street to the south east of the site

5 BUSHFIRE HAZARD SITE ASSESSMENT

As shown in Figure 5 and described in Appendix 1 within the 150 metre assessment area there are dwellings in modified vegetation immediately around the site (photos 12 to 15). There is forest to the north east west and south east of the site more than 100 from the site beyond modified vegetation (photos to 9). To the north west is managed grassland (photo 11).



Figure 5 - 150 metre assessment air photo

Surrounding Landscape Photos



Photo 6 Looking north west across forest 150 metres to the north west of the site



Photo 7 Looking east through forest 180 metres to the north east of the site at the northern end of Cobblers Lane

Surrounding Landscape Photos



Photo 8 Looking south west across forest 140 metres to the south east of the site of the site



Photo 9 Looking north west through forest 155 metres to the west of the site

Surrounding Landscape Photos



Photo 10 Looking south down Fulcher Street across modified vegetation 170 metres to the south west of the site



Photo 11 Looking north east down Langdon Court across grassland 130 metres to the north west of the site

Surrounding Landscape Photos



Photo 12 Looking north west to managed gardens to the immediate north of the site



Photo 13 Looking north east across managed land around a dwelling to the immediate east of the site

Surrounding Landscape Photos



Photo 14 Looking north west through modified vegetation to the immediate north west of the site



Photo 15 Looking to south west across managed land to the immediate south west of the site

7 BUSHFIRE HAZARD LANDSCAPE ASSESSMENT

The site has extensive areas of forest to the north west and south west and would be classed as a Landscape type 3 in accordance with *Technical Guide Planning Permit Applications – Bushfire Management Overlay* (DTPLI, 2017). On a broad landscape scale this increases the fire risk to the site as on high fire danger days there are often strong northerly winds followed by a gusty south west change which can turn the east flank of a fire approaching from the north west into a long fire front. There is the potential for long runs of fire (5 to 8 kilometres) from both the north west and south west to affect areas around the site, however vegetation closer to the site becomes fragmented which will reduce a fire's intensity. (See Figure 7).

A fire could also run through Forest in the gully to the north east.

There are sufficient areas of stringy bark forest (particularly to the north west) to cause significant spotting and ember attack (embers can easily travel more than one kilometre), Ember attack is the main cause of house loss in bushfires

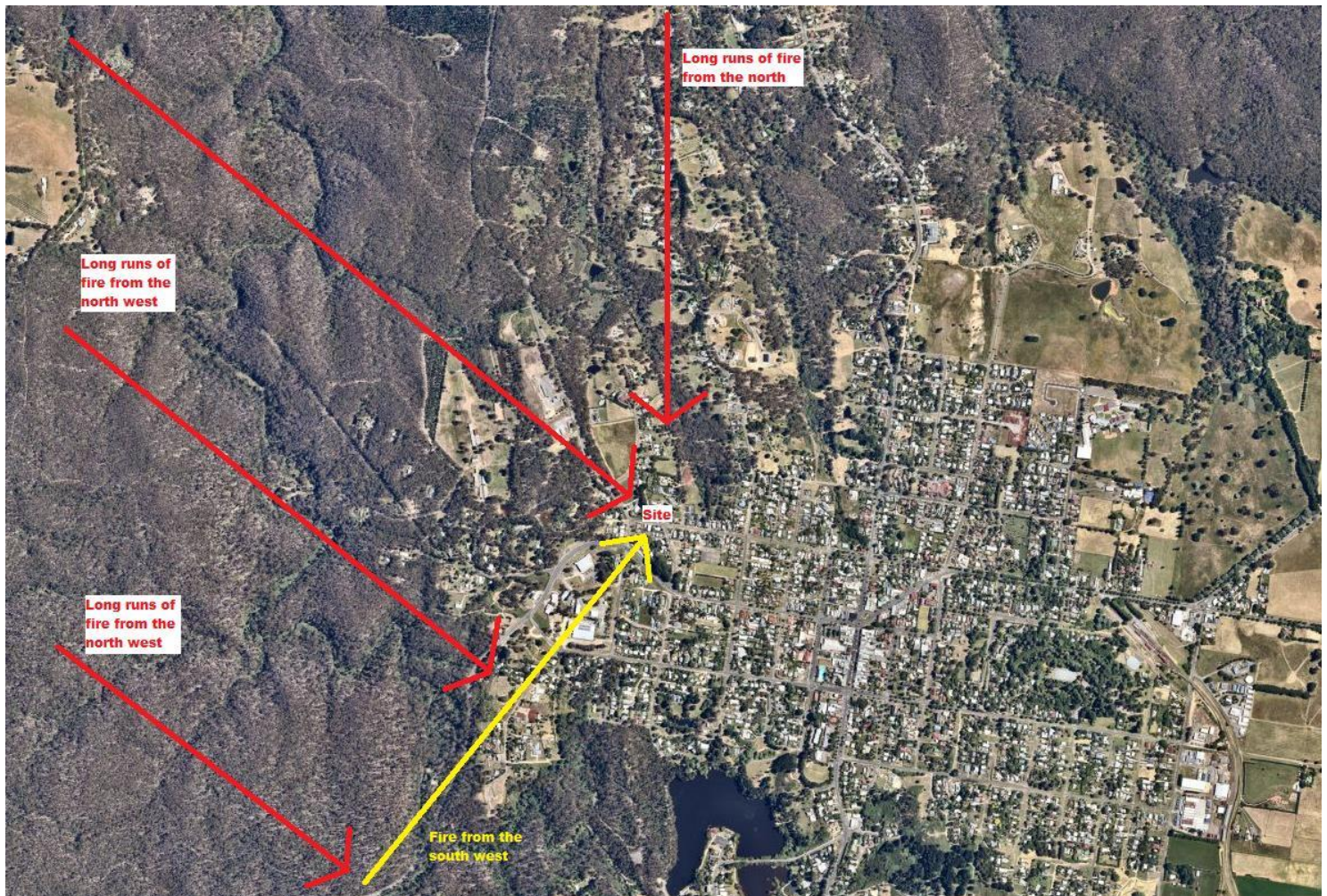


FIGURE 6 BUSHFIRE CONTEXT PLAN

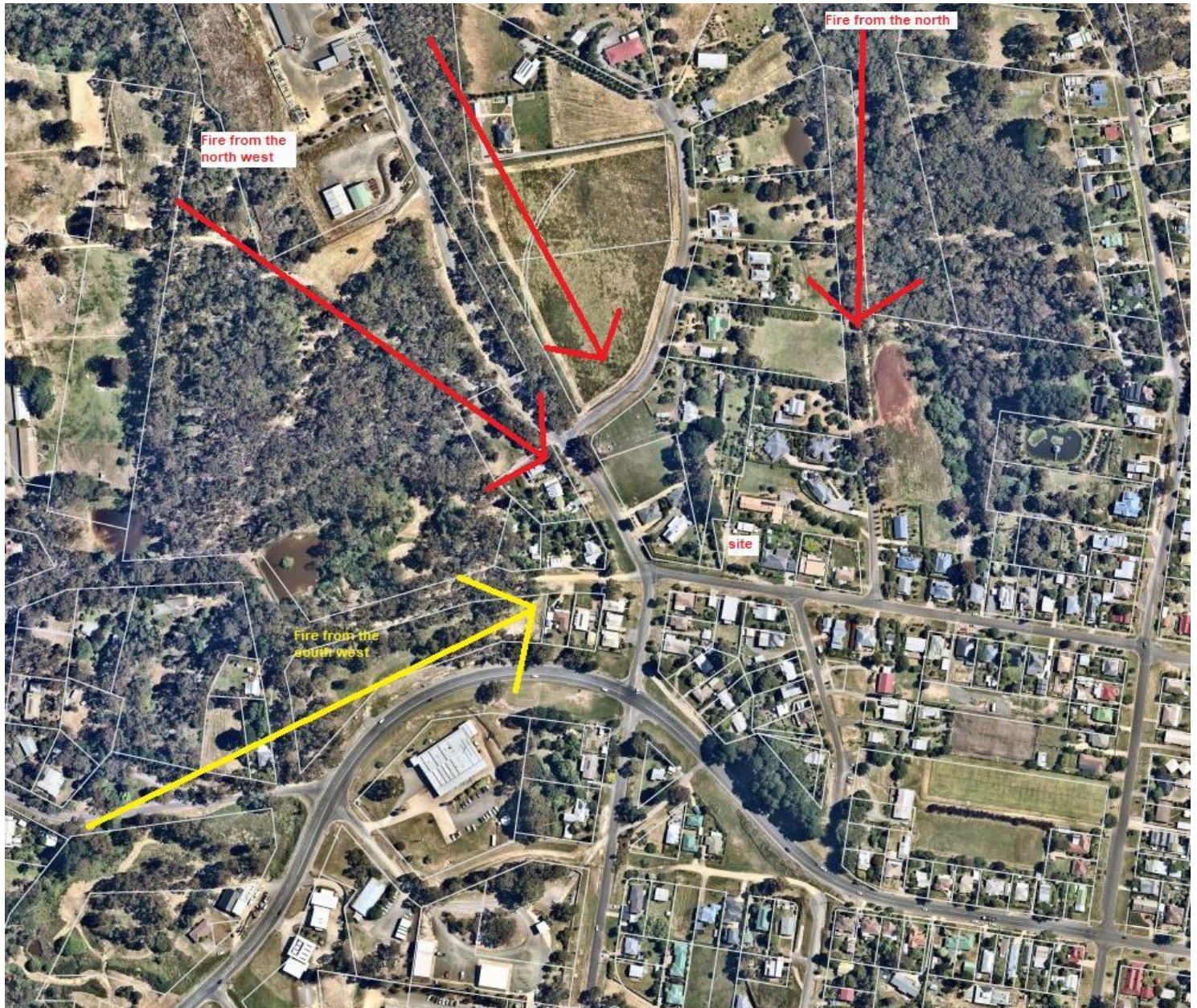


FIGURE BUSHFIRE LOCAL CONTEXT PLAN

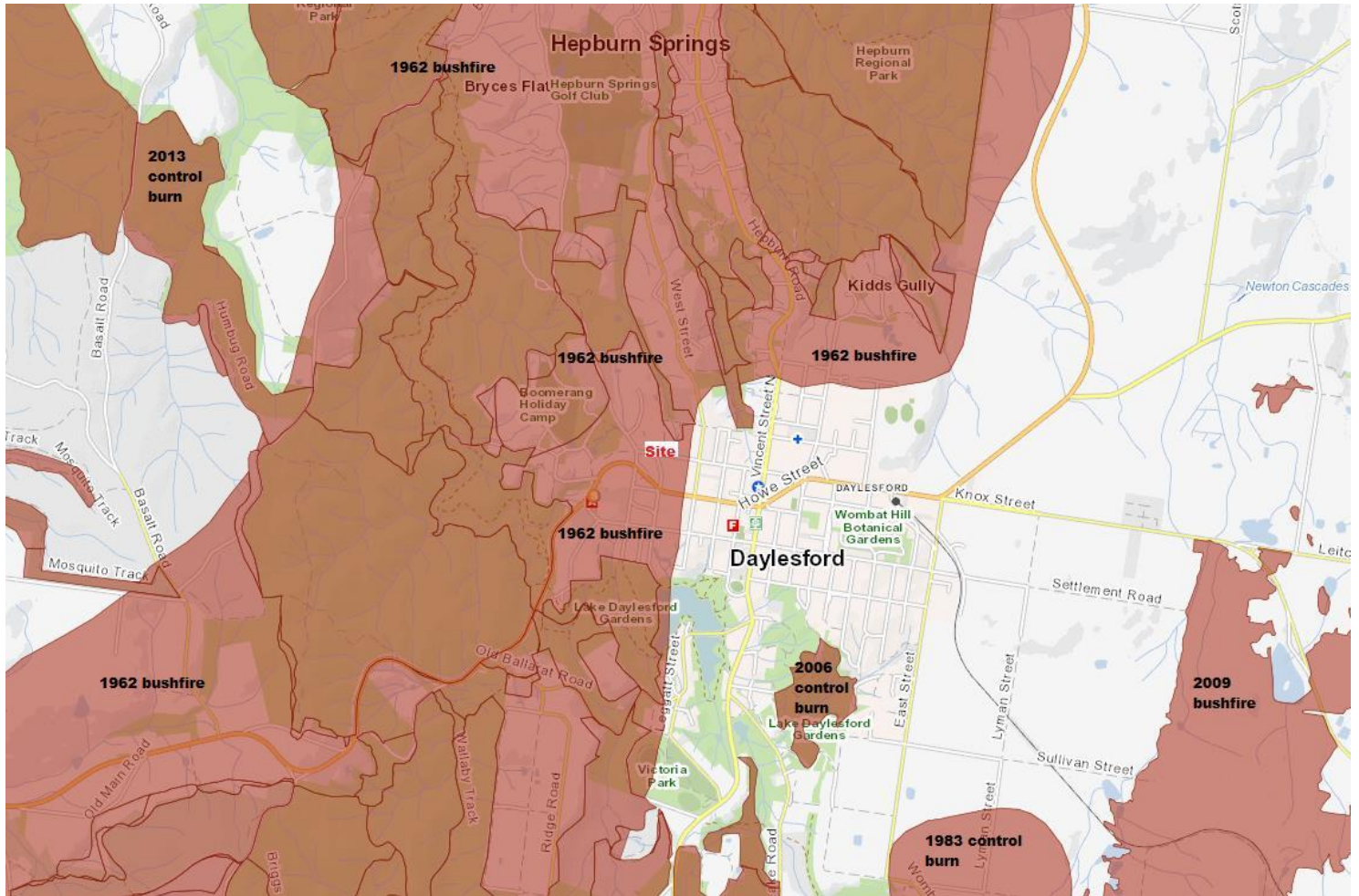
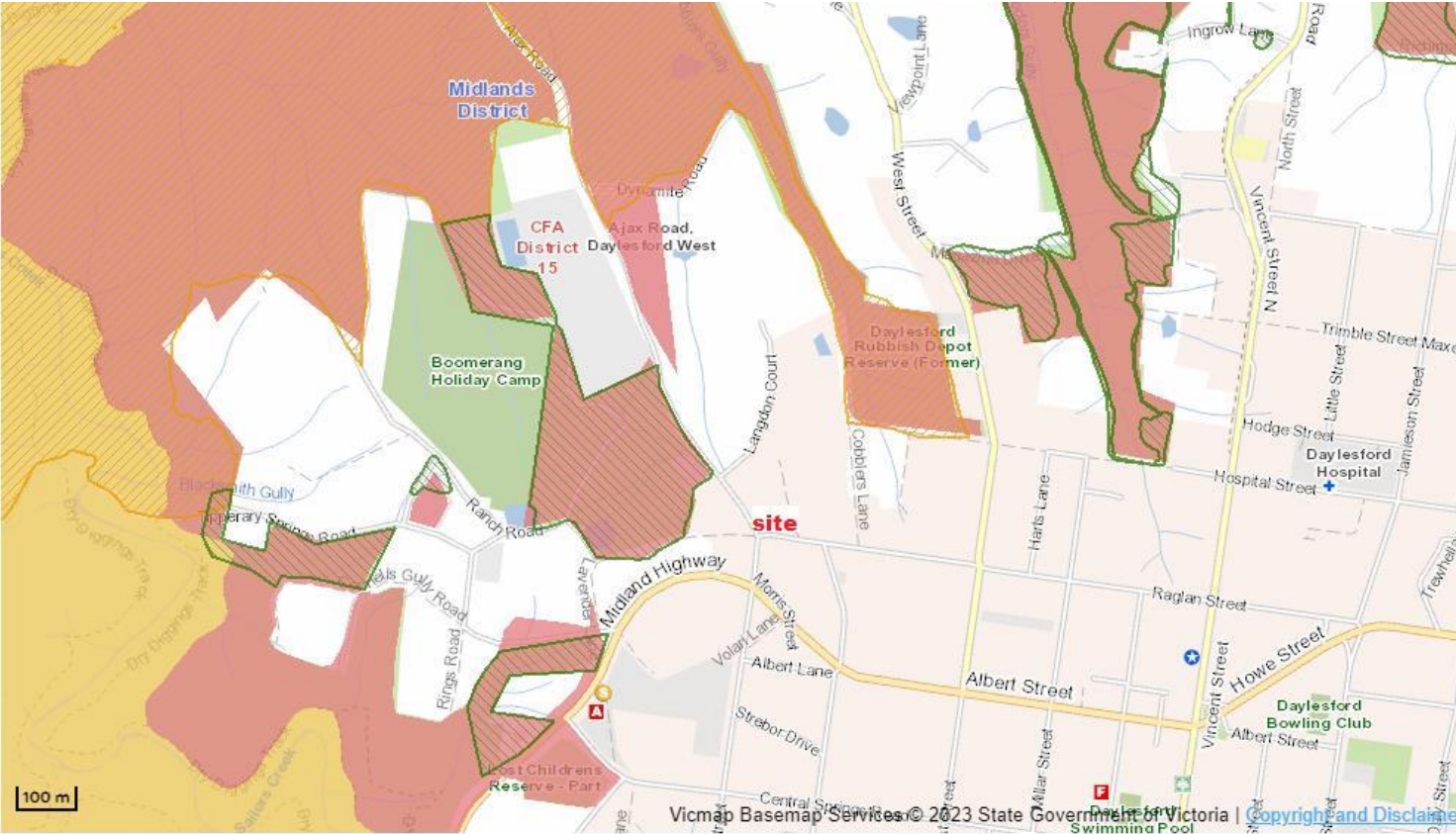


FIGURE 8 BUSHFIRE HISTORY MAP

The Fire History Map above shows the site was affected by the 1962 bushfires. There have been extensive fuel reduction burns to the north and west which will help reduce the risk. There are also burns planned for forest to the west in 2020 to 2021 (See Figure 9 on the following page)

In summary, the site environs is vulnerable to fire with extensive areas of forest and woodland to the west, however the risk is reduced by fragmentation of fuels close to the site.



Legend

Strategic Fuel Breaks

- 2022-23 Non Burning Treatment - Strategic Fuel Breaks
- 2023-25 Non Burning Treatment - Strategic Fuel Breaks
- 2022-25 Non Burning Treatment - Other Mechanical Treatments

Planned Burns

- 2022-2023
- 2023-2024
- 2024-2025

Fire Management Zones

- 1 - Asset Protection Zone
- 2 - Bushfire Moderation Zone
- 3 - Landscape Management Zone
- 4 - Planned Burn Exclusion Zone
- Fire History
- CFA District Boundaries
- DELWP District Boundaries

FIGURE 9 PLANNED BURNS AND MANAGEMENT ZONES

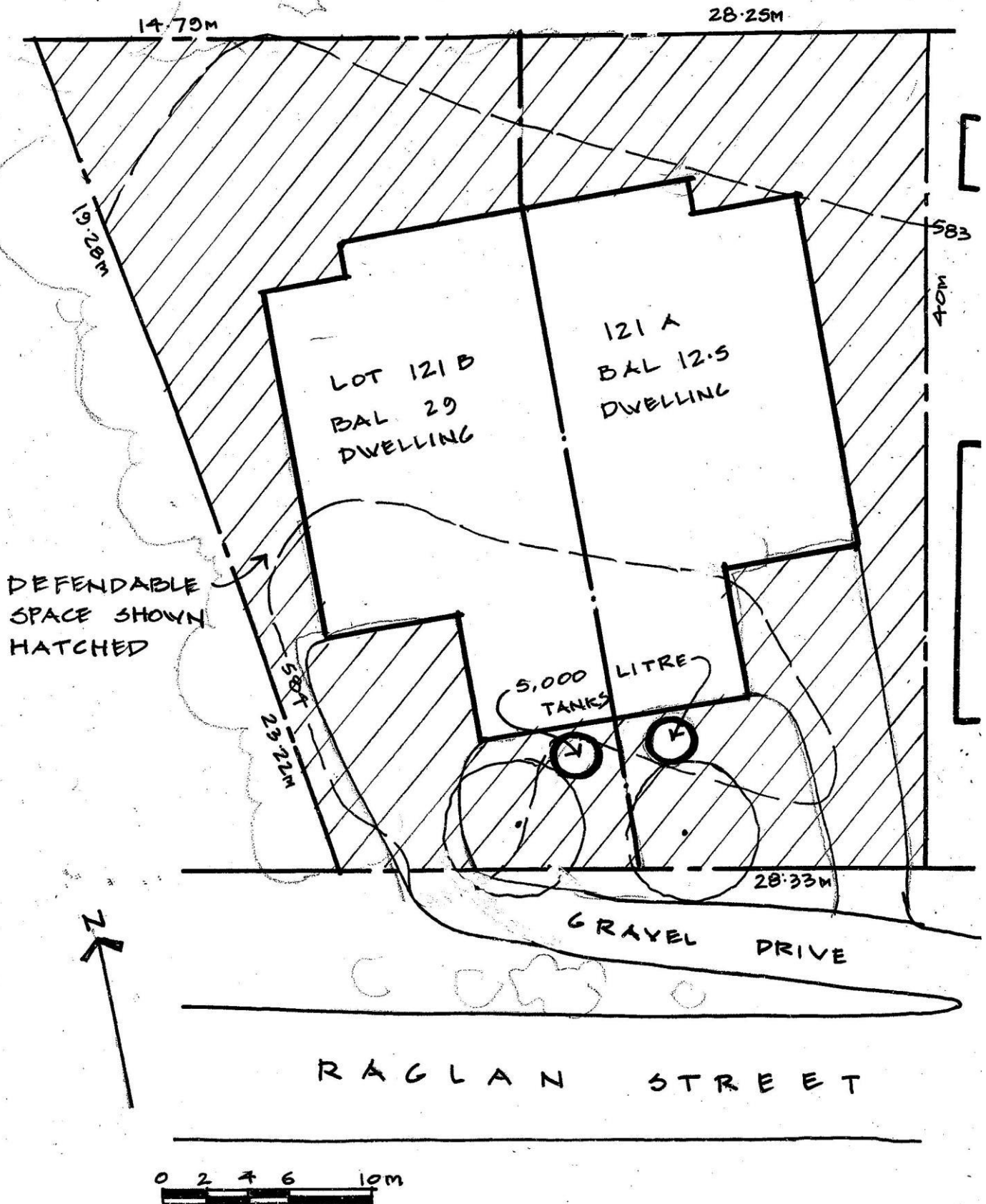


Figure 10 Defendable Space, access and water supply plan
(See notes on the following page)

SCHEDULE OF BUSHFIRE PROTECTION MEASURES

Defendable space

The area of defendable space is shown hatched on Figure 10 on the previous page within and from the edges of the proposed building envelope to the property boundaries, where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Construction standards

The building on Lot 121A will be designed and constructed a minimum Bushfire Attack Level of (BAL) 12.5 and the building on Lot 121B to BAL 29.

Water supply

The tanks shown on the plan will each hold 5,000 litres of effective water supply for fire fighting purposes which meets the following requirements:

- Is stored in an above ground water tank constructed of concrete or metal.
- All fixed above-ground water pipes and fittings required for fire fighting purposes must be made of corrosive resistant metal.
- Include a separate outlet for occupant use

Access

The driveway shown on the plan will provide access for trucks for fire fighting purposes which meets the following requirements:

- A load limit of at least 15 tonnes
- Curves must have a minimum inner radius of 10m.
- The average grade must be no more than 1 in 7 (14.4 per cent) (8.1 degrees) with a maximum of no more than 1 in 5 (20 per cent) (11.3 degrees) for no more than 50m.
- Have a minimum trafficable width of 3.5m of all weather construction.
- Be clear of encroachments for at least 0.5m on each side and 4m above the access way.
- Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.

6 BUSHFIRE MANAGEMENT STATEMENT

Clause 53.02 contains a range of sub clauses with objectives, approved measures (AM), alternative measures (AltM) and decision guidelines. The table below details which clauses are relevant to this application. The following section demonstrates how the requirements have been met for the relevant standards.

Relevant clauses and measures applicable to the proposed development.

Clause	Approved Measure	Achieved / Applicable	Justification
Clause 53.02 -3 – Dwellings in existing settlements – Bushfire protection objective	AM 1.1	Not Applicable	This is a subdivision so clauses are not applicable.
	AM 1.2	Not Applicable	
	AM 1.3	Not Applicable	
Clause 53.02 -4.1 Landscape, siting and design objectives	AM 2.1	Applicable	This development must address this clause.
	AM 2.2	Applicable	
	AM 2.3	Applicable	
Clause 53.02 -4.2 Defendable space and construction objectives	AM 3.1	Not Applicable	This is a residential subdivision and not applicable
	AM 3.2	Not Applicable	
	AltM 3.3	Not Applicable	This is a subdivision and not applicable.
	AltM 3.4	Not Applicable	
	AltM 3.5	Not Applicable	
	AltM 3.6	Not Applicable	
Clause 53.02 -4.3 Water supply and access objectives	AM 4.1	Applicable	This development must address this clause.
	AM 4.2	Not Applicable	This is a subdivision and not applicable.
Clause 53.02 -4.4 Subdivision objectives	AM 5.1	Not Applicable	The site is zoned GRZ
	AM 5.2	Applicable	This development must address this clause.
	AM 5.3	Not Applicable	Less than 9 lots are proposed
	AM 5.4	Not Applicable	
	AM 5.5	Not Applicable	Less than 9 lots are proposed

6.1.1 53.02 -4.1 Landscape, siting and design objectives

Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.

Development is sited to minimise the risk from bushfire.

Development is sited to provide safe access for vehicles, including emergency vehicles.

Building design minimises vulnerability to bushfire attack.

Approved Measure	Requirement
AM 2.1	<p>The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.</p> <p>Response:</p> <p>The site is located to the south east of forest on public land with dwellings in modified vegetation immediately around the site. There is good access to managed land to the south to which occupants could retreat to following the passing of a fire front.</p> <p>The proposed house site is able to meet the defendable space requirements for BAL 12.5 and 29 within the property boundaries.</p>
AM 2.2	<p>A building is sited to ensure the site best achieves the following:</p> <ul style="list-style-type: none"> • The maximum separation distance between the building and the bushfire hazard. • The building is in close proximity to a public road. • Access can be provided to the building for emergency service vehicles. <p>Response:</p> <p>The buildings have been sited to achieve BAL 12.5 and 29 defendable space, setting the house back more than 100 metres from forest to the west</p> <p>The houses will be located within 50 metres from a public road</p> <p>Access requirements can be met. Driveways will provide truck access onto the house sites passing through managed land</p>
AM 2.3	<p>A building is designed to be responsive to the landscape risk and reduce the impact of bushfire on the building.</p> <p>Response:</p> <p>The buildings will be required to meet BAL of 12.5 for Lot 121A and BAL 29 for Lot 121 B. The construction requirements minimise the ability for ember penetration and radiant heat exposure to compromise the building integrity.</p>

6.1.2 53.02 -4.2 Defendable space and construction objective

Defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on buildings.

Approved Measure	Requirement
AM 3.1	<p>A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with defendable space in accordance with:</p> <p>Column A, B or C of Table 2 to Clause 53.02 -5 wholly within the title boundaries of the land; or</p> <p>If there are significant siting constraints, Column D of Table 2 to Clause 53.02 -5.</p> <p>The building is constructed to the bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02 -5.</p> <p>Response:</p> <p>The houses have been sited to achieve BAL 29 and 12.5 defendable space (in accordance with the final rows of Table 1 to Clause 53.02 - 5) within the property boundaries based on the hazard of modified and managed low threat vegetation in all directions.</p>

6.1.3 53.02 -2.3 Water supply and access objectives

A static water supply is provided to assist in protecting property.

Vehicle access is designed and constructed to enhance safety in the event of a bushfire.

Approved Measure	Requirement
AM 4.1	<p>A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with:</p> <ul style="list-style-type: none"> A static water supply for fire fighting and property protection purposes specified in Table 4 to Clause 53.02 -3. Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02 -3. <p>The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.</p> <p>Response:</p> <p>A static water supply will be provided with two fire resistant tanks. 5,000 litres for each dwelling will always be retained within the tank for fire fighting purposes .</p> <p>Access requirements can be met. A 3.5 metre wide track capable of carrying a 15 ton truck with 4m vertical and 4.5m horizontal clearance will be provided. (See Table 5, Appendix 3). As the driveways are is less than 100 metres long passing bays and turning areas are not required.</p>

53.02 -2.4 Subdivision objectives

To provide lots that are capable of being developed in accordance with the objectives of Clause 53.02 .

To specify at the subdivision stage before protection measures to develop a lot with a single dwelling on land zoned for residential or rural residential purposes.

Approved Measure	Requirement
AM 5.1	NA as the site is zoned LDRZ
AM 5.2	<p>An application to subdivide land zoned for residential or rural residential purposes must be accompanied by a plan that shows:</p> <p>Each lot satisfies the approved measure in AM 2.1.</p> <p>A building envelope for a single dwelling on each lot that complies with AM 2.2 and provides defensible space in accordance with:</p> <p>Columns A or B of Table 2 to Clause 53.02 -5 for a subdivision that creates 10 or more lots; or</p> <p>Columns A, B or C of Table 2 to Clause 53.02 -5 for a subdivision that creates less than 10 lots. The bushfire attack level that corresponds to the defensible space provided in accordance with Table 2 to Clause 53.02 -5 must be noted on the building envelope.</p> <p>Defensible space wholly contained within the boundaries of the proposed subdivision.</p> <p>Defensible space may be shared between lots within the subdivision. Defensible space for a lot may utilise communal areas, such as roads, where that land can meet the requirements for defensible space.</p> <p>Vegetation management requirements in accordance with Table 6 to implement and maintain the defensible space required under this approved measure.</p> <p>Water supply and vehicle access that complies with AM 4.</p> <p>Response:</p> <p>The proposed lots can achieve minimum BAL 29 and 12.5 defensible space within the boundaries , based on the final row of Table 2 to Clause 53.02 -5 with the hazard being modified and low threat vegetation in all directions.</p> <p>Water supply and access requirements can be met, as previously described under AM 4.1.</p>

7 CONCLUSION

53.02 -4.5 Decision guidelines

The proposed development meets the decision guidelines as follows:

The State Planning Policy Framework (SPPF) outlines the broad framework for bushfire protection policy and provisions in the planning scheme. The following policy is included in this;

Clause 13.02-1 S Bushfire planning

Objective

To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

Strategies

Protection of human life

Give priority to the protection of human life by:

Prioritising the protection of human life over all other policy considerations.

Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.

Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision making at all stages of the planning process

This proposal has been prepared having regard for this over arching policy

The bushfire hazard landscape and site assessment, and bushfire management statement submitted with the application meets the objectives of Clause 53.02.

Land surrounding the site is a mix of woodland, forest, grassland and modified vegetation. The proper establishment and maintenance of defendable space on site will reduce the overall bushfire risk.

The proposed measures can be practically implemented and maintained in conjunction with the ongoing use of the land for residential purposes.

8 REFERENCES

CFA (2014). *Vegetation Classes: Victorian Bushfire Management Overlay*. Country Fire Authority, Burwood East, Victoria.

CFA (2011). *Landscaping for Bushfire: Garden design and plant selection*. Country Fire Authority, Burwood East, Victoria.

CFA (2012). *FSG LUP 0002 Requirements for water supply and access in the Bushfire Management Overlay (BMO)*. Country Fire Authority, Burwood East, Victoria.

Standards Australia (2009). *AS 39359-2009 Construction of Buildings in Bushfire Prone Areas*. Standards Australia, North Sydney, New South Wales.

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DELWP (2018) *Clause 13.02-1S Bushfire planning* Department of Environment, Land, Water and Planning
http://planning-schemes.delwp.vic.gov.au/schemes/vpps/13_02-1S.pdf

DELWP (2018) *Clause 44.06 Bushfire Management Overlay* Department of Environment, Land, Water and Planning
http://planning-schemes.delwp.vic.gov.au/schemes/vpps/44_06.pdf

DELWP (2018) *Clause 53.02 Bushfire Planning* Department of Environment, Land, Water and Planning
http://planning-schemes.delwp.vic.gov.au/schemes/vpps/53_02.pdf

DELWP (2018) *Bushfire Fuel and Risk Management*
<https://www.ffm.vic.gov.au/bushfire-fuel-and-risk-management/joint-fuel-management-program>

Nearmap
<http://maps.au.nearmap.com>

APPENDIX 1– BUSHFIRE SITE ASSESSMENT

	North	South	East	West
Vegetation Type	Modified vegetation	Low threat vegetation	Low threat vegetation	Modified vegetation
Distance from the house site boundary to vegetation	4	2	0	1
The effective slope under the vegetation	5 - 10	0 - 5	0 - 5	0 - 5
Defendable space	Property boundaries	Property boundaries	Property boundaries	Property boundaries
BAL	29	29	29	29

APPENDIX 2 DEFENDABLE SPACE CHECKLIST FOR SITE

Requirement	Compliance	Comment	Is a permit required to remove vegetation
All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.	No	Some clean up required	No
Grass must be short cropped and maintained during the declared fire danger period.	Yes		No
Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.	Yes		No
Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.	Yes		No
Shrubs must not be located under the canopy of trees.	No	Planted shrubs to be removed	No
Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.	No		No
Trees must not overhang or touch any elements of the building.	Yes		No
The canopy of trees must be separated by at least 5 metres.	No	Planted trees to be removed	No
There must be a clearance of at least 2 metres between the lowest tree branches and ground level.	Yes	Planted trees to be removed	No

APPENDIX 3 ACCESS AND WATER SUPPLY REQUIREMENTS

Table 4 Water supply requirements

Capacity, fittings and access

Lot sizes (square meters)	Hydrant available	Capacity (litres)	Fire authority fittings and access required
Less than 500	Not applicable	2,500	No
500-1,000	Yes	5,000	No
500-1,000	No	10,000	Yes
1,001 and above	Not applicable	10,000	Yes

Note 1: A hydrant is available if it is located within 120 metres of the rear of the building

Fire Authority requirements

Unless otherwise agreed in writing by the relevant fire authority, the water supply must:

- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosion resistant metal.
- Include a separate outlet for occupant use.

Where a 10,000 litre water supply is required, fire authority fittings and access must be provided as follows:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

Table 5 Vehicle access design and construction

Vehicle access (or part thereof) of a length specified in Column A implements the design and construction requirements specified in Column B.

Column A	Column B
Length of access is less than 30 metres	There are no design and construction requirements if fire authority access to the water supply is not required under AM4.1 .
Length of access is less than 30 metres	Where fire authority access to the water supply is required under AM4.1 fire authority vehicles should be able to get within 4 metres of the water supply outlet.
Length of access is greater than 30 metres	<p>The following design and construction requirements apply:</p> <ul style="list-style-type: none"> ▪ All-weather construction. ▪ A load limit of at least 15 tonnes. ▪ Provide a minimum trafficable width of 3.5 metres. ▪ Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically. ▪ Curves must have a minimum inner radius of 10 metres. ▪ The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more
	<p>than 1 in 5 (20%) (11.3°) for no more than 50 metres.</p> <ul style="list-style-type: none"> ▪ Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.
Length of access is greater than 100 metres	<p>A turning area for fire fighting vehicles must be provided close to the building by one of the following:</p> <ul style="list-style-type: none"> ▪ A turning circle with a minimum radius of eight metres. ▪ A driveway encircling the dwelling. ▪ The provision of other vehicle turning heads – such as a T or Y head – which meet the specification of Austroad Design for an 8.8 metre Service Vehicle.
Length of access is greater than 200 metres	<ul style="list-style-type: none"> ▪ Passing bays must be provided at least every 200 metres. ▪ Passing bays must be a minimum of 20 metres long with a minimum trafficable width of 6 metres.

Note 1: The length of access should be measured from a public road to either the building or the water supply outlet, whichever is longer.

SCHEDULE OF BUSHFIRE PROTECTION MEASURES

Defendable space

The area of defendable space is shown hatched within and from the edges of the of the proposed building envelope to the property boundaries on, where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Construction standards

The building on lot 121A will be designed and constructed a minimum Bushfire Attack Level of (BAL) 12.5 and the building on Lot 121B will be constructed to BAL 29.

Water supply

The tanks shown on the plan will each hold 5 000 litres of effective water supply for fire fighting purposes which meets the following requirements:

- Is stored in an above ground water tank constructed of concrete or metal.
- All fixed above-ground water pipes and fittings required for fire fighting purposes must be made of corrosive resistant metal.
- Include a separate outlet for occupant use

Access

The driveways shown on the plan will provide access for trucks for fire fighting purposes which meets the following requirements:

- A load limit of at least 15 tonnes
- Curves must have a minimum inner radius of 10m.
- The average grade must be no more than 1 in 7 (14.4 per cent) (8.1 degrees) with a maximum of no more than 1 in 5 (20 per cent) (11.3 degrees) for no more than 50m.
- Have a minimum trafficable width of 3.5m of all weather construction.
- Be clear of encroachments for at least 0.5m on each side and 4m above the access way.
- Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.

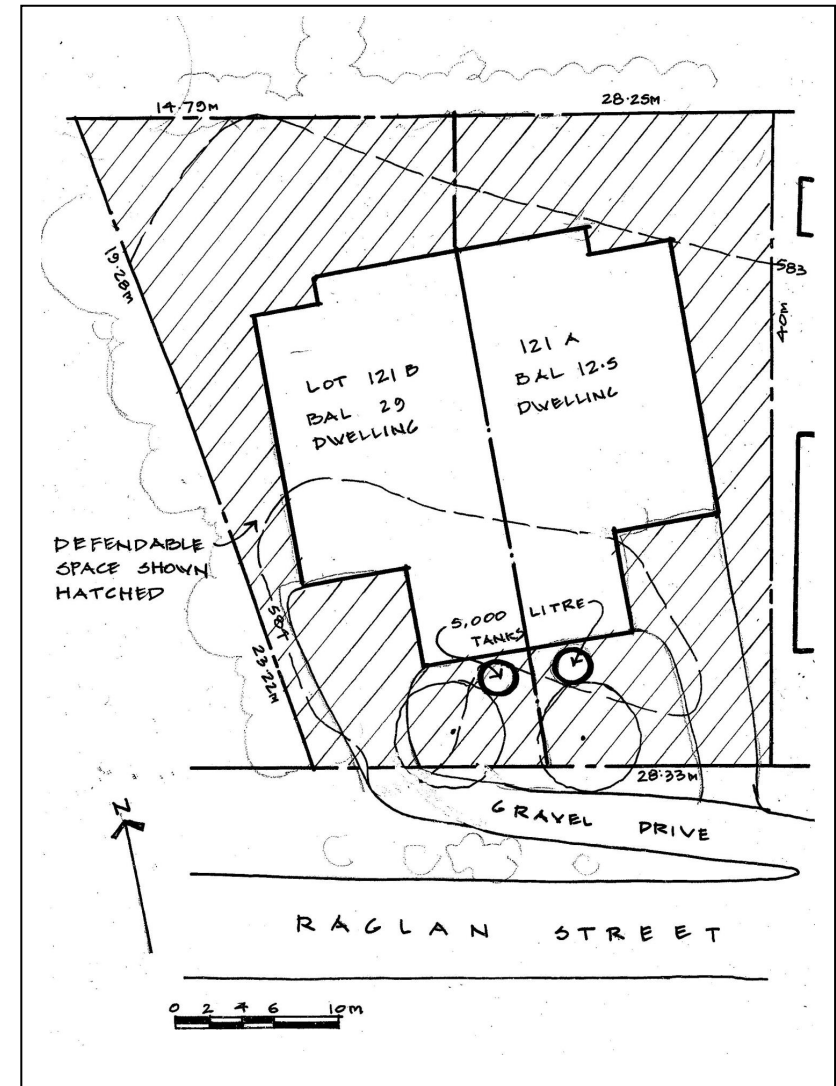


FIGURE 11 BUSHFIRE MANAGEMENT PLAN

121 Raglan Street Daylesford Version C 29/4/2023

Application for two two-storey dwellings on a lot and demolition of a shed at 121 Raglan Street Daylesford. ATTACHMENT 10.1.4

BY EMAIL: planningenquiries@hepburn.vic.gov.au

23 May 2023

Hepburn Shire Council
Planning Department
P. O. Box 21
DAYLESFORD VIC 3460
shire@hepburn.vic.gov.au

Dear Sir/Madam

Application for planning permit – 121 Raglan Street Daylesford

Please refer to the enclosed application for a Planning Permit to Construct two dwellings on a lot and demolish a shed at 121 Raglan Street Daylesford.

Please find enclosed:

- Application form.
- Copy of current certificates of title and title plans.
- Application report, and
- Site plan, floor and elevation plans, survey plans, concept plans, infrastructure plans, landscape plan and Bushfire Management Statement.

Please email an invoice for the application fee so that payment can be arranged.

Your sincerely
Jannand Place Management



Julie Brown

APPLICATION FOR PLANNING PERMIT

Construct two dwellings on a lot and demolish the shed

121 Raglan Street Daylesford Lot 1 647612J and Lot 1 TP 942639D



Image 1. Concept plan

Introduction

A planning permit is sought to construct two two-storey dwellings at 121 Raglan Street Daylesford (**Subject land**) and demolish a shed. The subject land is in the Hepburn Shire and the Hepburn Planning Scheme (**Scheme**) controls the use and develop the land in the municipality.

Existing Permits

1. PA 3267 Two (2) Lot re-subdivision and demolition of existing sheds issued on 16 September 2021:
 - a. an extension of has been applied for and approved.
 - b. an amendment to the existing permit is to be lodged May 2023.
 - c. under permit PA 3267 the approved lot sizes lot 1A area of 560m² and lot 1B and area of 862m² the proposed lot sizes are 690.16m² for the east lot and 737.24m² for the west lot.
2. PLN22/0047 Development of land for a two-storey dwelling issued on 29 August 2022:
 - a. it is not proposed to act on this permit.

Subject Land



Image 2. Subject site
(Source: Google Earth 19 February 2021)

Subject Land

LAND		
TITLE PARTICULARS	Lot 1 TP 942639D	Lot 1 PS 647612J
TITLE ENCUMBRANCES	None	Owners Corporation – under Model Rules
EASEMENTS	None	None
LAND AREA	292m ²	1121m ²
LAND CONFIGURATION	Triangle	Square
CHMP TRIGGERED	No	No
RELEVANT POLICY		
TOPOGRAPHY	The land at the front west corner of the land is 1.8m	The land at the front east corner is at street level.

	higher than the street level. The land falls from the front of the site to the rear most north-western section of the site.	The land falls from the front of the site to the rear most north-eastern section of the site.
CROSSOVER LOCATION	Western front section of site	Western front section of site
ZONE	NRZ1	NRZ1
OVERLAYS	BMO1 ESO 1 & 2 NCO4	BMO1 ESO 1 & 2 NCO4
ABORIGINAL CULTURAL HERITAGE	Land not identified	Land not identified
LAND IMPROVEMENTS		- 1 large shed and two small sheds - existing
VEGETATION ON SITE	Planted exotic trees along side and rear boundary, driveway, and parking areas	Planted exotic trees along the front and rear of the site; maintained lawns
Zone Permit Triggers	NRZ1 – Clause 32.09-6 – A permit is required to construct two or more dwellings on a lot.	
Overlay Permit Triggers	<p><u>BMO1 – Clause 44.06-2</u> – A permit is required for building associated with Accommodation use</p> <p><u>ESO 1 & 2 – Clause 42.01-2</u> A permit required to construct a building unless a schedule specifically states that a permit is not required</p> <p><u>Schedule 1 – Special Water Supply Catchment</u> – A permit is not required as it is proposed to connect to a reticulated sewerage system the site is located more than 30m from a waterway.</p> <p><u>Schedule 2 – Mineral Springs & groundwater protection</u> – A permit is not required as the building works do not involve earthworks that involve a cut or fill of over 1m in depth or height.</p> <p><u>NCO4 – Clause 43.05-2</u> – A permit is required to construct a building or construct or carry out works - A permit is required to demolish or remove a building (shed)</p>	
RELEVANT PLANNING SCHEME PROVISIONS	<p>MPS:</p> <p>Clause 2.03-3 – Environmental risks and amenity</p> <p>Clause 2.03-4 – Natural resource management</p>	

	<p>Clause 2.03-5 – Built environment and heritage Clause 2.03-6 – housing Clause 2.04 – Settlement plan</p> <p>PPF: Clause 14.02-2L Mineral Springs and Fresh Water Springs Protection – Hepburn Clause 15.01-2S – Building Design Clause 15.01-5S – Neighbourhood Character Clause 15.01-5L-01 – Neighbourhood Character in Daylesford</p>
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Image 3. Subject site from across the road



Image 4, 5 & 6. Subject site west front corner, embankment 2200mm from street level



Image 7. Subject site east front corner, no embankment from street level



Image 8. Subject site east front corner, no embankment from street level



SURROUNDING LAND



Image 9. Subject site marked

(Source: Google Map Data © 2023)

SURROUNDING AREA SUMMARY

The site is located within a residential setting, in the township of Daylesford and less than 1km from the Daylesford activity centre. This part of Daylesford locality features a variation of lot sizes and configurations that generally average 1100m² and rectangular in shape, with examples of higher density lots along Albert Street and further east along Raglan Street. Three road junctions in proximity to the site define the orientation of the lots:

- Ajax Road and Raglan Street
- Perrins Street and Raglan Street
- Cobblers Lane and Raglan Street

The road reserve grassed areas at the front of the site are at least 8m wide, and similar widths are presented within proximity of the site. Dwellings are generally well setback from the road, with treed frontages and at least one side boundary if not both, with clearance from any building form. There are two- storey dwellings in the immediate area and a scattering of others within proximity to the land. The topography and particular circumstances of the site allow for two storey dwellings that will not be highly visible from the street or the surrounds. Essentially allowing the design to sit comfortably within the site and its landscape.



Image 10. Subject site marked in the context of surrounding lot sizes and configurations
(Source: Vic Gov DWELP Imagery, 2018)



Image 11. Subject site inclusive of Lot 1 (smaller lot) marked
(Source: Lassi Land and Survey Information) & includes proposed re-subdivision for lot 1A and 1B under permit PA 3267

Site and context details of dwellings in the surrounding area.

Image 12.

119 Raglan Street (rendered dwelling (charcoal colour) single storey, hip roof, 7m front setback



Image 13.

*117 Raglan Street
Brick single storey dwelling, skillion roof design, 7m front setback, and side setback for the garage and dwelling as corner site.*



Image 14.

*2 Perrins Street
Timber, gable iron roof, front setback circa 8m, established garden and building setback from both side boundaries.*



Image 15.

*122 Raglan Street
2 storey dwelling, circa 5m setback,
muted colours with cladding finish,
skillion and gable roof, setback from
side boundary*



Image 16.

*128 Raglan Street
Garage / shed, muted cream colour
– appears to be connected to 2
Perrins Street, setback – unable to
determine*



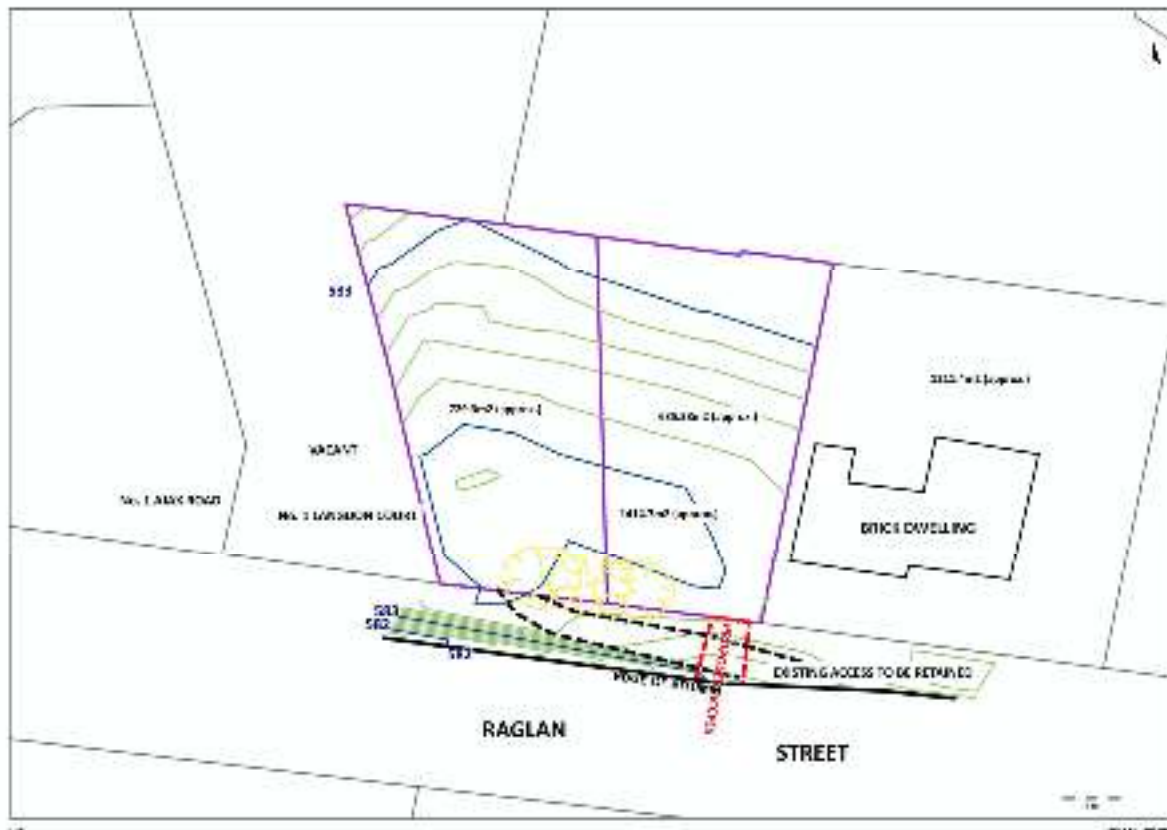
Image 17.

*4 Perrins Street
Two storey dwelling, open gable
roof, mix of timber cladding and
render of muted non-reflective
materials, gable roof, setback from
site boundary*




PROPOSAL DETAILS

The plan below shows the lot configuration to align with the two two-storey dwelling proposal. The application to amend the subdivision permit is submitted concurrently with this application.



Development details

Building	Dwelling 1 (east)	Dwelling 2 (west)
Site area	690.15sqm <i>subject to survey</i>	737.74sqm <i>subject to survey</i>
Number of bedrooms	4	4
Number of storeys	2	2
Total floor area	311m ²	311m ²
Roof form	Gabled, 28° pitch	Gabled, 28° pitch
Parking provision and number of spaces	Garage with part roof 2 car spaces	Garaged part roof and 2 car spaces
External materials and colour schedule for both dwellings	Muted and non-reflective materials and colours Render Smooth 'natural cement'  Render Rough 'natural cement'	






	 <p>Timber Cladding in timber colour</p>  <p>Metal Cladding, seam cladding in matt colorbond 'charcoal'</p>  <p>Powder coated aluminium (match colorbond 'monument')</p>  <p>Expressed steel (match colorbond 'monument')</p> 
Maximum height from NGL	<div> <div data-bbox="627 1675 1013 1821"> <p>9m maximum height at one point at the rear of the site. The overall building height is 8.5m from NGL</p> </div> <div data-bbox="1013 1675 1396 1821"></div> </div>



Image 18. Front of proposed development

PLANNING ASSESSMENT

Summary of key issues

ISSUES	SUMMARY
Two dwellings on one lot	The site lends itself to a development of this scale. Noting a permit was issued in August 2022 for the construction of a two-storey dwelling on a 560m ² lot, less than that of the current application 690m ² area. Notwithstanding this application is for two dwellings on a lot where the scale, design, response to the Scheme and the P & E Act is seen as a more considered response to the land and its surrounds.
Subsistence potential	Approval has been provided for one two-storey dwelling within the last 12 months. There have been no significant changes to policy to indicate support would not be provided for this application. It is distinguished by the two-storey construct and differentiated by the second lot (which is proposed to be re-aligned) by the addition of a dwelling design application.
Landscape impacts	<p>The proposed dwellings are setback from the street by 6m to 8m. The second story element of the building is setback 13m to 15m from the front boundary. The west dwelling height is a maximum of 9m at the rear, this is highest point of the development from NGL.</p> <p>The land falls from the front of site (south/west corner) to the rear (north/east corner). Existing vegetation is retained where possible, i.e., the new entry to the east dwelling requires road access, the</p>

	<p>driveway/building for the west dwelling needs clearance to construct and trees will be removed to undertake these works. There are no earthworks for cut/fill that are greater than 1m in depth.</p> <p>There are large pine trees at north/west rear boundary property that run along an old road reserve. Image 9, marked with yellow line shows the location of site in relation to the trees.</p> <p>Image 19. The base of the pine trees</p> <p>Image 20. Taken from Ajax Road, around the corner from the subject site.</p> <p>The development is seen to sit comfortably within the context of adjoining properties, within the existing landscape both visual and environmental.</p>
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PLANNING POLICIES

Municipal Planning Strategy (MPS):

The relevant sections of the Municipal Planning Strategy are addressed as follows:

Clause 2.03-3 – Environmental risks and amenity

The development is sited within an existing township well within the boundaries of the Daylesford developed area. The land is zoned for the purpose of residential development and the construction of the dwellings generally at ground level minimises the risk of erosion and any potential for an adverse impact on the environment; essentially mitigating any risk. The site is within the bushfire management overlay Schedule 1 area and is not in an area where a review is being undertaken of the boundaries to ensure there is no significant risk to life.

Clause 2.03-4 – Natural resource management

Hepburn Shire is known for its spa centres with the mineral springs being a major tourist attraction. Maintaining ground water quality is an important directive for council and Catchment

Management Authorities. The proposal ensures that each dwelling is connected to reticulated sewer and water, and building construction is proposed to be done under EPA guidelines, and all stormwater is discharged to a legal point of discharge or harvested on site for domestic purposes.

Clause 2.03-5 – Built environment and heritage

The proposal is in support of Council's strategic direction for the built environment by proposing infill development that responds to its setting and surrounds.

Consideration is to be given to:

- ensure development does not obstruct significant views to prominent hilltops, ridgelines, and landmarks.

The following ensure the development does not obstruct the views: the location, the siting of the buildings and the increased setback of the two-storey element of the building, the topography, the existing tall pine trees on the disused road abutting the land ensure the development does not obstruct the views that are considered significant.

- encourage built form that has been designed to both mitigate bushfire risks and minimise vegetation loss.

A Bushfire Management assessment has advised a BAL29 construction is required for the west dwelling, and BAL 12.5 construction is required for the east dwelling. It is proposed to maintain the existing vegetation and only remove trees and shrubs where necessary for access to the site, construction of the dwellings, and to comply with the Bushfire Management Plan.

- ensure development is in keeping with the historic, landscape and neighbourhood character of townships and settlements.

The development does maintain the Daylesford neighbourhood character by:

- *retaining the existing access to the site therefore allowing the status quo of the existing public and private domain to remain.*
- *the 2nd storey section of the dwelling has a front setback of up to 15m therefore limiting visibility from the street due to the 2m high embankment and visually sheltered by the pine trees to the north/west side and rear of the lot.*
- *the use of materials and design that draw from those of existing built form without detracting from those characteristics.*
- *maintaining vegetation where possible on site and not disturbing the existing topography of the land in support of the existing character of Daylesford.*

Clause 2.03-6 – housing

The provision for housing focuses on supporting the changing needs of residents and their lifestyle choices within the Daylesford township. The Australian Bureau of Statistics current census states that the average number of persons in a household is 2.1 and the average number of families is around 28% of the total population. Infill development, providing 4-bedroom dwellings, supports housing needs that change for residents whilst respecting and complementing the neighbourhood character.

Clause 2.03 – Strategic Directions

Clause 2.04 – Settlement plan

The subject site sits within the Daylesford Township boundary and therefore the strategic framework plan is to be read in conjunction with the provisions of the MPS as noted above. The township is identified for consolidation rather than growth, to ensure orderly planning for the township and its development in the future. Infill development within the boundaries of the township compliments the plan. The site is not within an area identified as subject to extreme and significant fire threat but is in a bushfire management overlay area. The protection of human life has been addressed by way of a bushfire management assessment submitted with the application and requisite BAL measurements are applied to mitigate any risk. The site is not within the mineral springs and mineral springs protection area.

Planning Policy Framework:

The relevant sections of the Planning Policy Framework are addressed as follows:

Clause 14.02-2L Mineral Springs and Fresh Water Springs Protection – Hepburn

To ensure the development protects the quality and quantity of mineral springs and freshwater springs water. This can be achieved by adopting construction techniques in line with current EPA standards and directing stormwater away from any mineral spring or freshwater spring or can be harvested on site. Further the development shall connect to reticulated sewer and water infrastructure.

Clause 15.01-2S – Building Design

This provision promotes building design and siting outcomes that respond to the site and neighbouring properties. The design responds to improve energy performance of the dwellings by incorporating elements into the design and the north facing aspect of siting living spaces. The proposed dwellings are designed to protect the views and vistas that are within the Daylesford area.

Clause 15.01-5S – Neighbourhood Character

Recognising, supporting, and protecting the neighbourhood character, cultural identity, and sense of place. Respect is ensured by responding to existing subdivision patterns (i.e., reflecting development patterns), retaining existing vegetation to provide a connection with the street, offset the built form from one side boundary, and divide the built form between the two dwellings, maintain a built form that respects the character in relation to street setback and responsive design elements, and the use of sympathetic materials and non-reflective colours for the proposal.

Clause 15.01-5L-01 – Neighbourhood Character in Daylesford & Clause 43.05 Neighbourhood Character Overlay

The map identifies the subject site as being within Precinct 9, there are no specific strategies identified under this provision, they are stated in Schedule 4 to Clause 43.05 Neighbourhood Character Overlay as taken from the 'Daylesford Neighbourhood Character Study' October 2002. Under this provision the garden settings of the dwellings, connection of the area with the town's heritage and the cohesiveness of the area will be maintained and enhanced by:

- Encouraging the retention and planting of trees and gardens.

The applicant proposes to retain as many trees as possible and plant trees and shrubs.

- Maintaining the rhythm and pattern of the prevailing rectilinear form of subdivision.

The subdivision does not form part of this application (a concurrent application submitted), but its form is generally rectilinear.

- Ensuring that new buildings do not dominate the streetscape and wider landscape setting. And ensure they do not exceed predominant tree canopy height, and buildings not to protrude above the ridgeline when viewed from lower areas. And good views to Wombat Hill are not hindered.

The buildings are appropriately setback from the street, so they do not dominate the streetscape. This allows for an opportunity to landscape the front of the site. Each dwelling is setback from the side boundary to provide further opportunity to landscape the site. And the middle section shows a clear divide between the east dwelling and the west dwelling.

The existing trees on site vary from 1m to 5.5m in height, the pine trees on the adjoining property at the side and rear are circa 25m in height. An estimate of the predominant height for trees on site would be 3m in height. When viewing the site from a lower level and from Ajax Road, it was not possible to see the rear of the site. The land is not sited on a ridgeline.

Wombat Hill is 1.3km from the site, the view will not be affected by the proposal.

- Encouraging the use of timber or other non-masonry materials and non-reflective corrugated iron roofing materials, where possible. To ensure building materials and finishes complement the dominant pattern within the streetscape and front fences are appropriate to the era of dwellings in the area.

The proposal supports the stated use of materials in a non-reflective and muted state. The materials assimilate materials of the past i.e., timber cladding, metal cladding, aluminium, and cement render.

- Ensuring buildings are offset from at least one side boundary. To maintain the rhythm of dwelling spacing, the openness to the streetscape and the consistency, where present, of building front setbacks.

Each dwelling is offset from at least one side boundary and the front setback is consistent with surrounding and adjoining setbacks. The middle section shows a break in the built form so each dwelling can present as a separate building.

- Encouraging low to average height, open style front fences.

A new post and rail fence that include automated gates at 1.2m in height.

- Encouraging the planting of street trees.

Tree planting is encouraged.

- To minimise site disturbance and reduce the dominance and impact of buildings on the landscape.

The proposal does not involve a site cut, the building footprint is 181m² for each dwelling, the 2-storey section is setback 13-15m from the front of the site, and a 2.2m high road reserve embankment. When all these points are consolidated it results in a development that minimises site disturbance and reduces the dominance of the building on the landscape.

ZONE

NEIGHBOURHOOD RESIDENTIAL ZONE – SCHEDULE 1

Zone	Neighbourhood Residential Zone – Schedule 1
Use	Dwellings
Buildings and works	Clause 32.09-6 - A permit is required to construct two or more dwellings on a lot.
Decision guideline Responses	<p>Clause 32.09-13</p> <p><u>General:</u></p> <p>The proposal is responsive to the guidelines that require consideration of the MPS, PPF, and the NRZ1 provision. Each of the design elements of the proposal is in response to the neighbourhood character. The landscape character of the site and its surrounds will not be affected by the proposal.</p> <p>There are no properties with existing rooftop solar energy systems on dwellings that will be impacted</p> <p><u>Subdivision:</u></p> <p>This application does not involve subdivision of the land. A re-subdivision is required to align the additional dwelling and redesign of the buildings. (a concurrent application is submitted separately)</p> <p>The siting of the dwellings allows for space on either side of the lots, and a demarcation of each lot for the dwelling on the east and west.</p> <p><u>Dwellings and residential buildings:</u></p> <p>A response has been provided to address the objectives, standards, and decision guidelines of Clause 55.</p>

OVERLAYS

NEIGHBOURHOOD CHARACTER OVERLAY – SCHEDULE 4

Overlay 1	Neighbourhood Character Overlay - Schedule 4, 'Daylesford Neighbourhood Character Precinct 9'.
Permit triggers	<p>Clause 43.05-2</p> <p>A permit is required to construct a building or construct or carry out works - A permit is required to demolish a building</p> <p>A permit is required to demolish or remove a building (shed)</p>
Exemptions	No exemption

<p>Purpose of Overlay</p>	<p>To implement the Municipal Planning Strategy and the Planning Policy Framework.</p> <p>To identify areas of existing or preferred neighbourhood character.</p> <p>To ensure that development respects the neighbourhood character.</p> <p>To prevent, where necessary, the removal of buildings and vegetation before the neighbourhood character features of the site and the new development have been evaluated.</p> <p><i>Response:</i></p> <p><i>The proposal provides a development that respects the neighbourhood character.</i></p>
<p>Decision guidelines</p>	<p>The land is set within an existing garden and streetscape, the new dwellings with a low front fence provide a cohesiveness to the area. Further connections are from the rectilinear subdivision (submitted concurrently) a north-south orientation of dwellings and a 13-15m setback of the two-storey section of the dwellings; all which reduce any building dominance. Further masking their presence within the streetscape and wider landscape setting is the use of materials that are sympathetic with the surrounding building materials, are non- reflective, and not masonry based.</p>
<p>Statement of Neighbourhood Character & neighbourhood character objective</p>	<p>This precinct contains a mix of architectural eras, the styles are simple, predominantly timber dwellings, with hipped and gabled roofs, and sit well together. The frequency of the pre-World War I and Inter-war buildings is of importance to the town's identity and the character of the precinct. Other than along the highway where setbacks are more regular, the building siting is as irregular as the building eras, nevertheless most dwellings are offset from both side boundaries and set within established gardens with occasional tall trees. Good views are possible back to Wombat Hill. The wide grassy verges and low to average height front fences create a cohesiveness to the area which could be enhanced by further street tree planting.</p> <p><i>Further analysis is provided under Clause 15.01-5L-01 – Neighbourhood Character in Daylesford, page 16 in connection with Neighbourhood Character Overlay, Schedule 4.</i></p>

BUSHFIRE MANANAGMENT OVERLAY

<p>Overlay 2</p>	<p>Bushfire Management Overlay – Schedule 1</p>
-------------------------	---

Permit triggers	A permit is required to construct a building or construct or carry out works associated with uses – Accommodation’.
Exemptions Application requirements	There are no exemptions, however Schedule 1 allows for BAL 12.5 (for one dwelling on a lot) and a Bushfire Management Plan that meets the provision of the overlay.
Bushfire Management Overlay - Purpose	To implement the Municipal Planning Strategy and the Planning Policy Framework.
Decision Guidelines	To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
	To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
	To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.
	In addition to those specified in Clause 44.06 the following are required to be considered:
	<ul style="list-style-type: none"> • Whether all of the bushfire protection measures have been met. • Whether consideration has been given to opportunities that preserve biodiversity on the land and achieve bushfire protection measures.
	<i>Response:</i>
	<i>Consideration has been given to preserve the planted vegetation on site.</i>
	<i>A Bushfire Management Plan has been prepared for the development of two dwellings on a lot and for the re-subdivision to be submitted concurrently.</i>
	<i>In summary the water supply is possible, the access requirements can be met, the defendable space requirements can be met (east lot BAL 12.5 & west lot BAL29), and the vegetation is planted and exempt from approval. The bushfire protection measures can/have been met.</i>

ENVIRONMENTAL SIGNIFICANCE OVERLAY – SCHEDULE 1 & 2

ESO 1 & 2 – Clause 42.01-2 - A permit required to construct a building unless a schedule specifically states that a permit is not required

Schedule 1 – Special Water Supply Catchment – A **permit is not required** as it is proposed to connect to a reticulated sewerage system and the site is located more than 30m from a waterway.

Schedule 2 – Mineral Springs & groundwater protection – **A permit is not required** as the building works do not involve earthworks that involve a cut or fill of over 1m in depth or height.

CLAUSE 65 – DECISION GUIDELINES & SECTION 60 *Planning and Environment Act 1987*

The relevant provisions of the Hepburn Planning Scheme and matters set out in Section 60 of the *Planning and Environment Act 1987* have been considered in the report.

CONCLUSION

The proposed new dwellings will sit well in the streetscape that is developed with a mix of architectural styles. A connection through assimilating timber weatherboards (vertical direction) gabled roofs, and building setbacks that are consistent with existing setbacks, and the retention of plants where possible ensures a connection with the expressed neighbourhood character of the precinct. The dwellings have access to reticulated services that are located within proximity to the site, and no changes are required to the existing site entry that interfere with the embankment at the front of the site. It is on these bases the proposal to construct two dwellings on a lot warrant supports and we respectfully request a planning permit for the construction of two dwellings on a lot and the demolition of a shed issued at your earliest convenience.

CLAUSE 55 – TWO OR MORE DWELLINGS ON A LOT

Clause 55.01 – Neighbourhood and site description and design response	Provided in body of report and via pictures of surrounding properties.	Satisfied
Clause 55.02 – Neighbourhood character and infrastructure	<p><u>Standard B1</u> – the two two-storey dwellings are set back from the existing side boundary of the land. The middle section between both dwellings provides a separation of built form. The modern materials are representative of materials of the past. The layered built form from the front (garage) to the higher built form is well setback from the street. The roof is gabled using an iron represented material (metal cladding). Each design element being an appropriate response to the neighbourhood and the site.</p> <p><u>Standard B2</u> – Policy supports the changing needs of lifestyle choices within an established township, four-bedroom dwellings support those changing needs. Support is also provided for infill housing development within township boundaries that respects the neighbourhood character.</p>	<p>Satisfied</p> <p>Satisfied</p>

	<p><u>Standard B4</u> – Each dwelling will be connected to reticulated services. It is unlikely with the remaining available infill lots, and varying sized lots developed that the development proposal will overload the capacity of utility services and infrastructure available to other dwellings in proximity to the site.</p> <p><u>Standard B5</u> – A 1.2m post and rail fence is proposed, and existing vehicle and pedestrian links will not be altered.</p>	<p>Satisfied</p> <p>Satisfied</p>
Clause 55.03 – Site layout and building massing	<p><u>Standard B6</u> – there is an existing building on the west side abutting allotment and no building on the east side. The centre point of the two dwellings is setback from the front the same as the existing building.</p> <p><u>Standard B7</u> – the maximum building height does not exceed 9m. The visual impact of the two-storey dwelling is softened by the half roof garage sited at the front of the site, and the two-storey section setback 13-15m from the street, and the retention of some existing trees. The 2-storey section setback from the abutting property is essentially at the rear of that dwelling. The site falls gently from the front to the rear of the site resulting in the highest building height at the rear of the east side dwelling. No other points of the dwellings reach 9m in height.</p> <p><u>Standard B8</u> – 60% is the maximum site coverage if not specified in a schedule to the zone. 30% site coverage is proposed.</p> <p><u>Standard B9</u> – a 20% minimum pervious surface requirement applies to this standard. The proposal is for 67% pervious surface coverage of the site.</p> <p><u>Standard B10</u> – all living areas, interconnected decking, upper storey balcony, and private open spaces are north facing. The shed at the rear property contains solar panels that are not within the arc that would inhibit the rooftop solar energy availability.</p> <p><u>Standard B12</u> – good clear, safe, secure access is available to both dwellings. Access is available into each dwelling front entry and through the garage.</p> <p><u>Standard B13</u> – It is proposed to retain some existing trees and vegetation providing for an unaltered landscape character.</p> <p><u>Standard B14</u> – Access to the land is over an embankment with an existing crossover. The</p>	<p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p>

	<p>proposal will involve the creation of a new crossover using the same embankment. The length of the frontage including both lots is 28.32m it is expected that approval is/if granted will be for 3.5m x 2 = 7m accessways for both dwellings. This is less than 33 percent of the street frontage.</p> <p><u>Standard B15</u> – 2 covered car spaces are provided for each dwelling, there is space within the driveway to accommodate visitor car parking if required. The covered car spaces are well setback from other dwellings offsite, and more than 1.5m from onsite dwellings.</p>	Satisfied
Clause 55.04 – Amenity impacts	<p><u>Standard B17</u> – appropriate setbacks apply.</p> <p><u>Standard B19</u> – adequate daylight into existing habitable room window on abutting east lot is provided, and the west lot is vacant.</p> <p><u>Standard B20</u> - no north facing habitable room windows are affected by the proposal.</p> <p><u>Standard B21</u> –secluded open spaces of existing dwellings will be afforded at least 75% of area and a minimum of five hours of sunlight between 9am and 3pm between 9.00am and 3pm on 22 September.</p> <p><u>Standard B22</u> – A 1.8m high fence between east dwelling and west dwelling is proposed. The rear fence is proposed to be 2m constructed providing a visual barrier into adjoining property private open space.</p> <p><u>Standard B23</u> – the views into secluded open spaces of the abutting dwellings can be limited to an acceptable standard. There are no habitable room windows affected by the proposal.</p> <p><u>Standard B24</u> – There are no noise sources that may affect existing dwellings.</p>	<p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p> <p>Consideration given</p>
Clause 55.05 – On-site amenity and facilities	<p><u>Standard B25</u> – it is possible for persons with limited mobility to access the ground floor and depending on the form of limited mobility may have access via stairs to the upper level.</p> <p><u>Standard B26</u> – each dwelling whilst designed identical will be definably different by the driveway access, and the break in the built form between dwelling (east) and dwelling (west).</p> <p><u>Standard B27</u> – each habitable room has adequate daylight.</p>	<p>Consideration given</p> <p>Satisfied</p> <p>Satisfied</p>

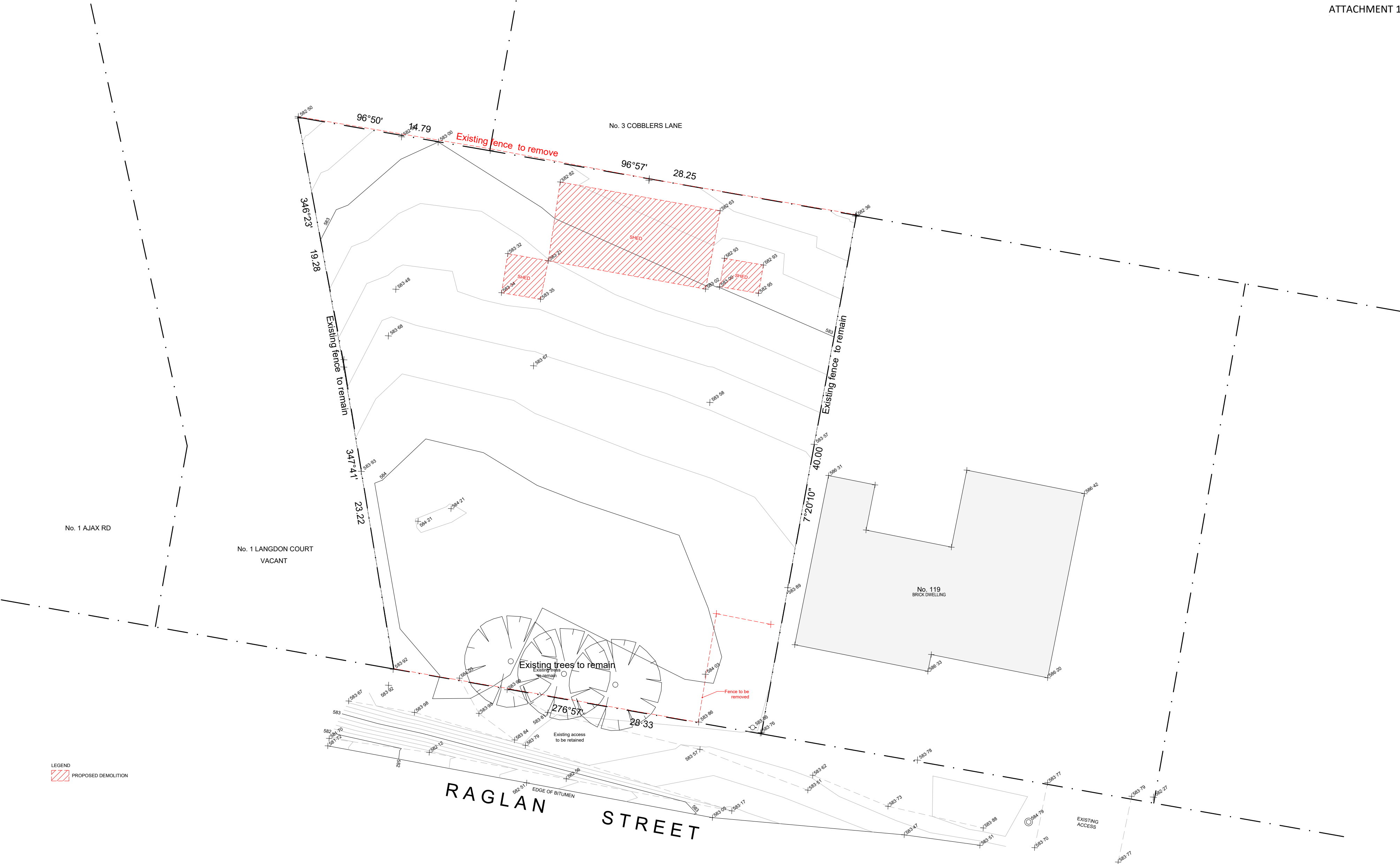
	<p><u>Standard B28</u> – Dwelling east and west have 85sqm of private open space.</p> <p><u>Standard B29</u> – secluded private open space is located on the north side of each of the dwellings and it is useable space the adequately meets the requirement of this provision.</p> <p><u>Standard B30</u> – 6m³ are required, and adequate storage space (8.064m³) is provided and can be accessed from the garage or the drying court.</p>	<p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p>
Clause 55.06 – Detailed design	<p><u>Standard B31</u> – Timber cladding, concrete render, metal cladding and aluminium with charcoal colour are proposed. The façade detail provides a connection with the timber dwellings of the past. The roof form is representative of the dominance of gable roof forms in the precinct. The garage with an open form is considered to provide a comparable link to the dwelling and the existing buildings character.</p> <p>Within this setting the front of the site is not highly visible from the street, the existing trees at the front are to be retained in part, the building highest point is well setback from the streetscape with each factor reducing the visual bulk of the building within the neighbourhood setting. Noting that the adjoining lot to the west contains large pine trees at least 15m high further limiting the presence of the buildings.</p> <p><u>Standard B32</u> – The front fence is proposed to be timber and rail and 1.2m high.</p> <p><u>Standard B34</u> – the site has good access to services. The letter boxes have been placed within the new fence, the bin area has been allocated within the garage and storage area.</p>	<p>Satisfied</p> <p>Satisfied</p> <p>Satisfied</p>

The diagram shows a cross-section of a tree being planted. The tree's canopy is at the top, with a root ball below it. Two vertical stakes are driven into the ground on either side of the root ball. A horizontal line indicates the top of the root ball. Below the root ball, a layer of backfill is shown, followed by a layer of premium grade soil. The ground surface is indicated by a dashed line. The existing subgrade is shown at the bottom.

- Trees to be healthy disease free specimens
- Water prior to, and after planting
- Stake and tie trees with 2 1800x50x50mm hardwood stake driven to a depth of 600mm
- Tie with 2 continuous 50mm web tie and stapled to the stakes
- Form a shallow water basin using soil backfill
- 75mm layer of premium grade soil
- Spread no closer than 75mm from
- Do not cover the top of rootball
- The rootball is to sit at or above (max.) the natural ground surface
- Planting hole excavated to a depth 2.5 times the root ball diameter (where services do not allow this)
- Backfill with excavated material (this is heavy clay. In this instance premium grade topsoil)
- Existing subgrade

TREE PLANTING DETAIL





PRELIMINARY

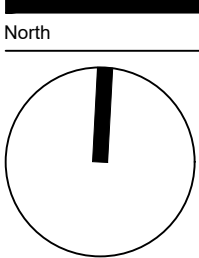


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LEGEND
PROPOSED DEMOLITION

Revision	Amendment



Project	Planning Drawings
Proposed Residential Development at 121 Raglan Street Daylesford Victoria 3460	May 2023
Existing Conditions and Demolition Plan	TP01
Scale 1:100 @ A2	Issue 08.05.2023



PRELIMINARY

Site Information

Site Area	1422m ²
Proposed Site Coverage (60% max)	432m ² (30%)
No. of Proposed Carspaces	4 Undercover)
Proposed Permeable Area (20% min)	950m ² (67%)
Garden Area (35% min)	827m ² (58%)

Private Open Space

121A Residence (secluded)	85m ²
121B Residence (secluded)	85m ²
Total Secluded Private Open Space	170m²

Floor Area (121A)

Ground Floor Level	181m ²
First Floor Level	130m ²
Total	311m²

Floor Area (121B)

Ground Floor Level	181m ²
First Floor Level	130m ²
Total	311m²

Note:

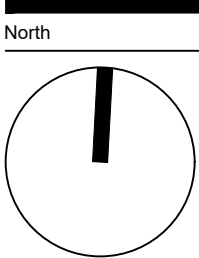
Landscaping is indicative only.



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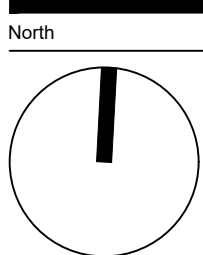
Revision	Amendment

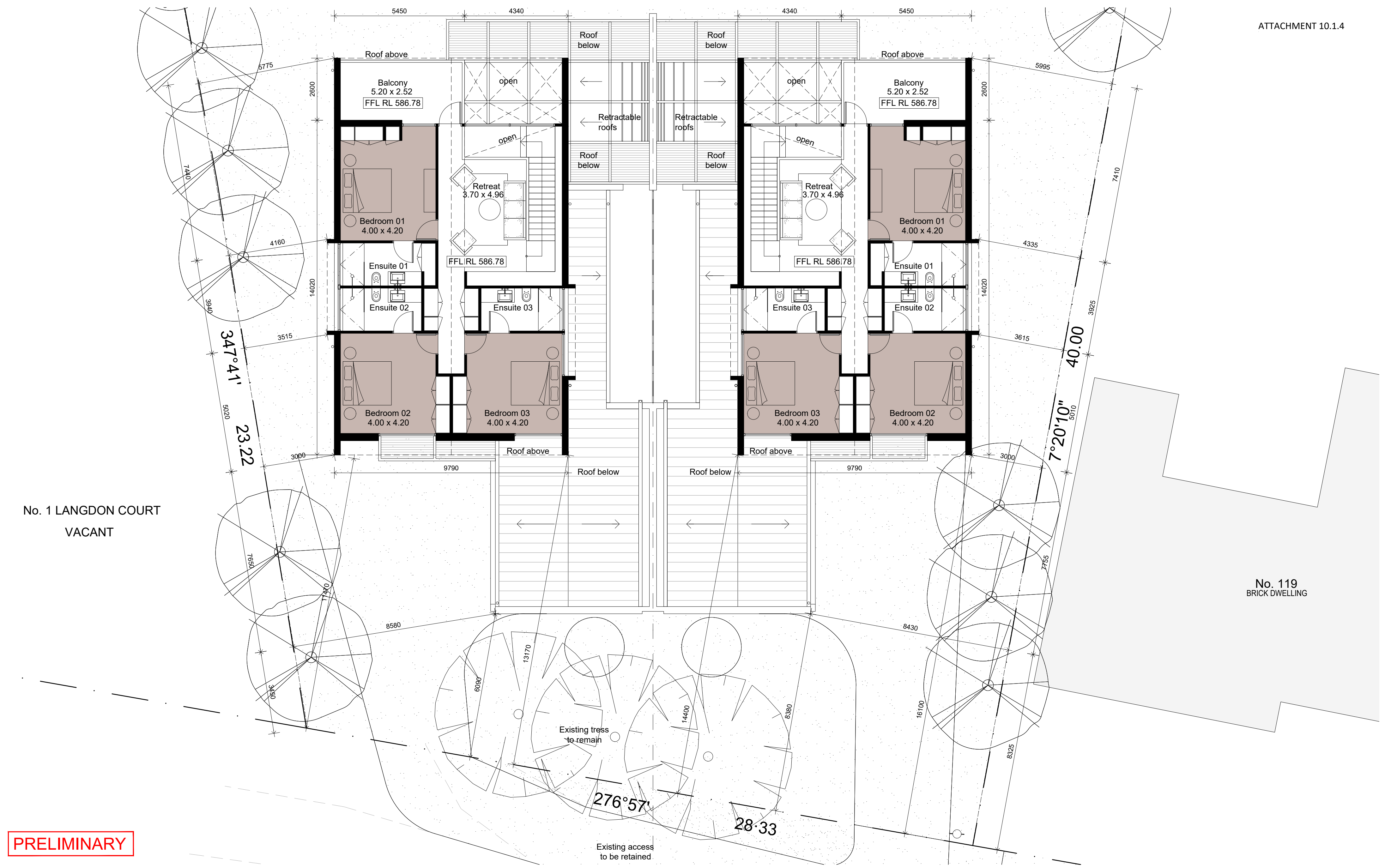


Project	Planning Drawings
Proposed Residential Development at 121 Raglan Street Daylesford Victoria 3460	May 2023
Proposed Site Plan	TP02
Scale 1:200 @ A2	Issue 08.05.2023



Revision	Amendment



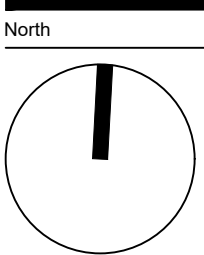


PRELIMINARY

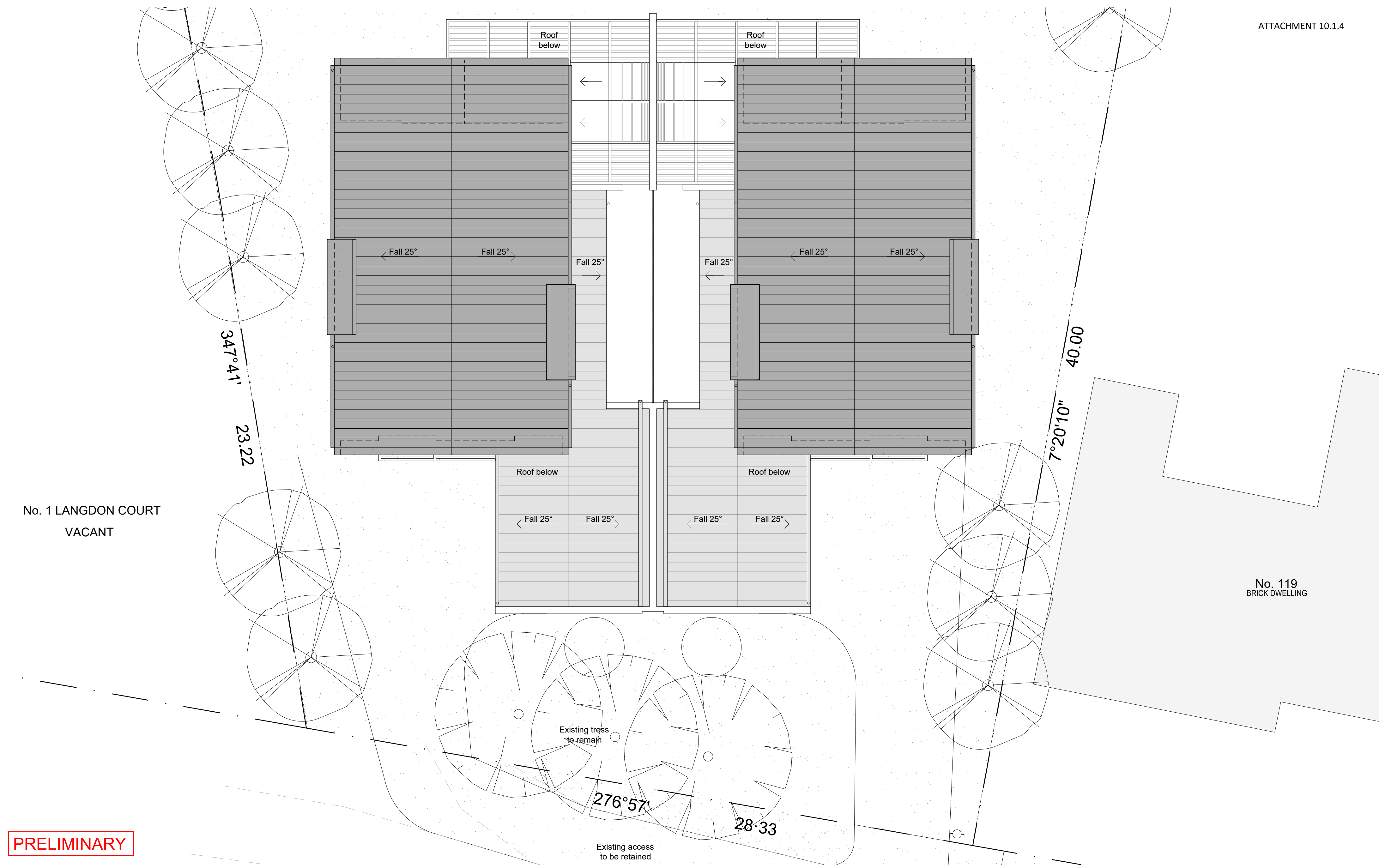


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Revision	Amendment



Project	Planning Drawings
Proposed Residential Development at 121 Raglan Street Daylesford Victoria 3460	May 2023
Proposed First Floor Plan	TP04
Scale 1:100 @ A2	Issue 08.05.2023



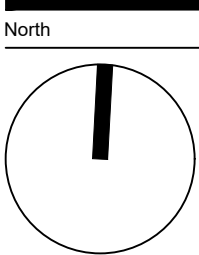
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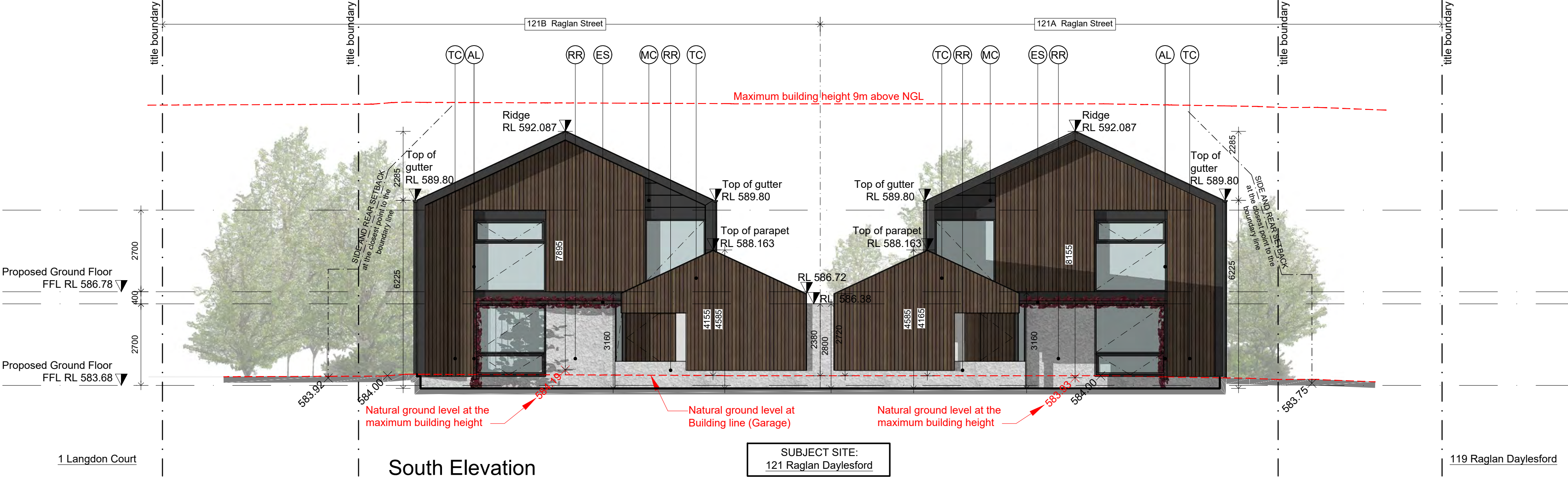
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Revision	Amendment



Project	Planning Drawings
Proposed Residential Development at 121 Raglan Street Daylesford Victoria 3460	May 2023
Proposed Roof Plan	TP05
Scale 1:100 @ A2	Issue 08.05.2023



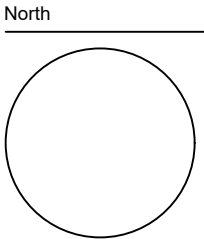
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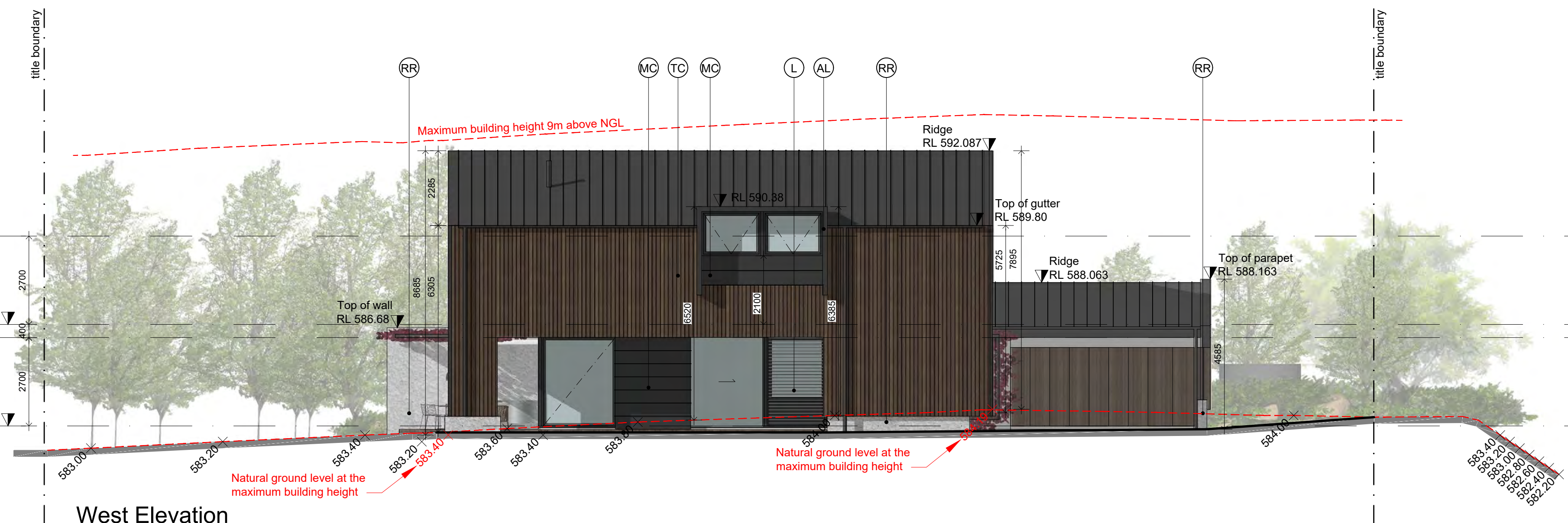
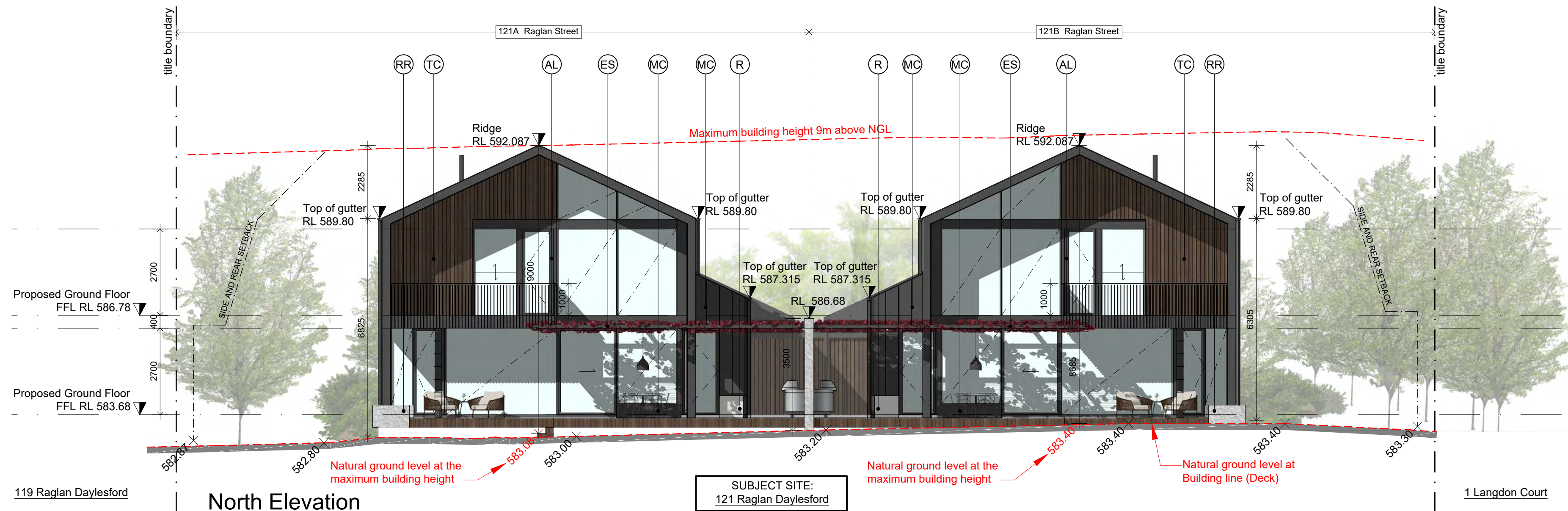
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(RR) ROUGH RENDER	(AL) POWDERCOATED ALUMINIUM
(TC) TIMBER CLADDING	(L) METAL LOUVRE
(MC) METAL CLADDING	

Revision	Amendment



Project
Proposed Residential Development at
121 Raglan Street
Daylesford Victoria 3460
Proposed Elevations
Scale 1:100 @ A2

Planning Drawings
May 2023
TP06
Issue 08.05.2023



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EXTERNAL FINISHES

 SMOOTH RENDER

(RR) ROUGH RENDER

(TC) TIMBER CLADDING

(MC) METAL CLADDING

FS EXPRESSED STEEL

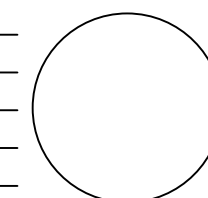
POWDERCOATED
ALUMINIUM

(L) METAL LOUVRE

Revision

Amendment

North



Project

Proposed Residential Development at
121 Raglan Street
Daylesford Victoria 3460

Proposed Elevations

Scale 1:100 @ A2

Planning Drawings

May 2023

TP07

Issue 08.05.2023.



South (Fence) Elevation



East (Fence) Elevation

PRELIMINARY

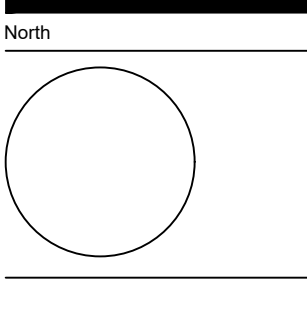


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EXTERNAL FINISHES	
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(RR) ROUGH RENDER	(AL) POWDERCOATED ALUMINIUM
(TC) TIMBER CLADDING	(L) METAL LOUVRE
(MC) METAL CLADDING	

Revision	Amendment



Project
Proposed Residential Development at 121 Raglan Street Daylesford Victoria 3460
Proposed Fence Elevations
Scale 1:100 @ A2

Planning Drawings May 2023
TP08
Issue 08.05.2023



North (Fence) Elevation



West (Fence) Elevation

PRELIMINARY

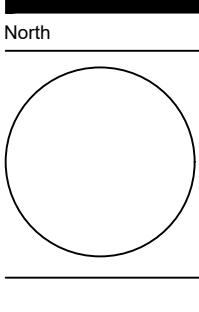


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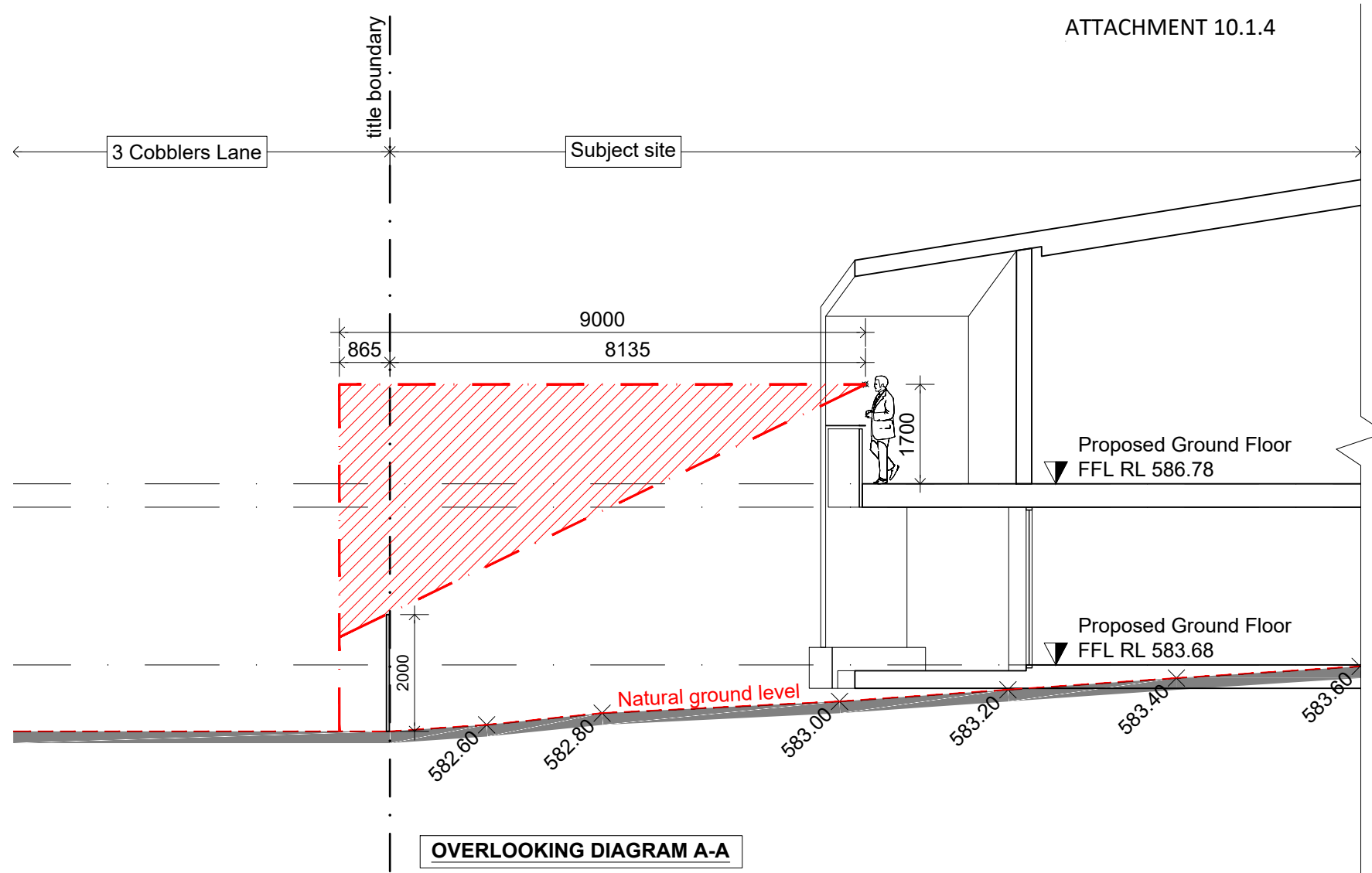
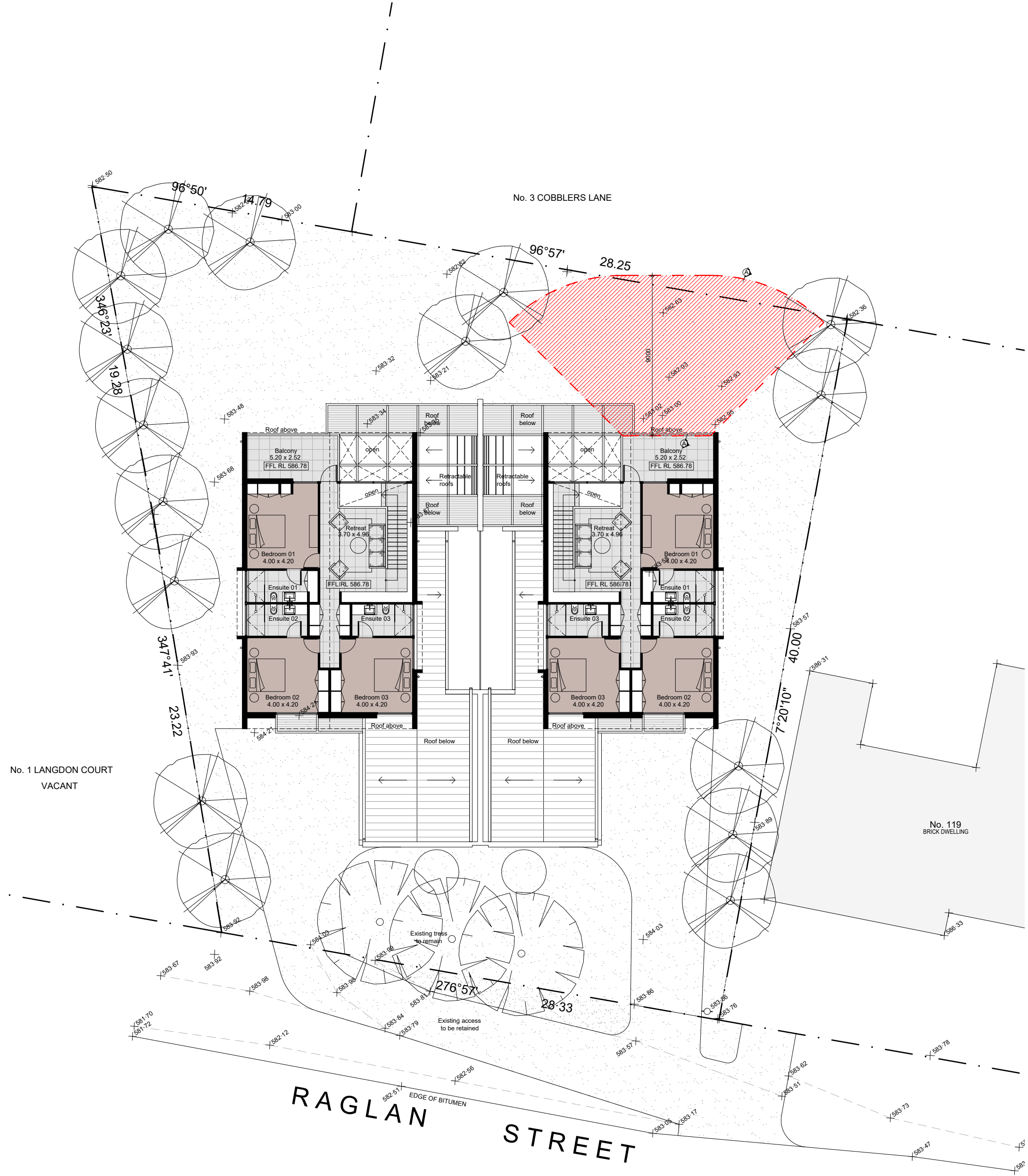
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- EXTERNAL FINISHES
- (R) SMOOTH RENDER
 - (RR) ROUGH RENDER
 - (TC) TIMBER CLADDING
 - (MC) METAL CLADDING
 - (ES) EXPRESSED STEEL
 - (AL) POWDERCOATED ALUMINIUM
 - (L) METAL LOUVRE

Revision	Amendment



Project	Planning Drawings
Proposed Residential Development at 121 Raglan Street Daylesford Victoria 3460	May 2023
Proposed Fence Elevations	TP09
Scale 1:100 @ A2	Issue 08.05.2023

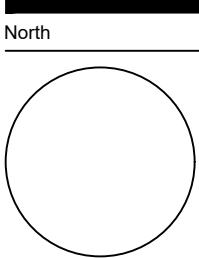


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Revision	Amendment



Project	Planning Drawings
Proposed Residential Development at 121 Raglan Street Daylesford Victoria 3460	May 2023
Overlooking Diagrams	TP10
Scale 1:200/ 1:100 @ A2	Issue 08.05.2023

PLANNING APPLICATION TO HEPBURN SHIRE COUNCIL



PROPOSED RESIDENTIAL DEVELOPMENT AT
121 RAGLAN ST DAYLESFORD
VICTORIA 3460

ISSUE DATE 08/05/2023





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PLAN OF SUBDIVISION		LRS use only	Plan Number
EDITION1			PS 647612J
Location of Land	Council Certification and Endorsement	LRS use only	
Parish: Wombat	Council Name: HEPBURN SHIRE	Statement of Compliance / Exemption Statement	
Section: 20	1. This plan is certified under section 6 of the Subdivision Act 1988.	Received <input checked="" type="checkbox"/> Date 29/06/2011	
Crown Allotments: 5(part) & 6(part)	2. This plan is certified under section 11(7) of the Subdivision Act 1988.	LRS use only	
Title References:	3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.	PLAN REGISTERED	
Vol: 9548 Fol: 895	Open Space	TIME 1.47PM	
9548 896	(i) A requirement for public open space under section 18 Subdivision Act 1988 has / has not been made.	DATE 01/07/2011	
Last Plan Reference:	(ii) The requirement has been satisfied.	GARY M ROBERTSON	
Postal Address:	(iii) The requirement is to be satisfied in Stage	Assistant Registrar of Titles	
119 Raglan Street, Daylesford, 3460.	Council Delegate	Notations	
M.G.A. Co-ordinates: E 246185 Zone	Council seal	Depth Limitation: Does not apply	
(Of approx. centre of plan) N 5863765 55	Date	Planning Permit No. N/A	
Easement Information			
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)			
Easement Reference	Purpose	Width (Metres)	Origin
E-1	PIPELINES OR ANCILLARY PURPOSES	3	THIS PLAN SECTION 136 OF THE WATER ACT 1989
			CENTRAL HIGHLANDS REGION WATER CORPORATION
THIS IS A SPEAR PLAN			
Survey:- This plan is not based on survey.			
This survey has been connected to permanent marks no(s). N/A			
In proclaimed Survey Area no. 50			
LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS			
FOR DETAILS OF ANY OWNERS CORPORATIONS INCLUDING PURPOSE, RESPONSIBILITY, ENTITLEMENT & LIABILITY SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION ADDITIONAL INFORMATION AND IF APPLICABLE, OWNERS CORPORATION RULES			
		SHEET 1	
ORIGINAL SHEET SCALE SIZE A3 1:500	SCALE 0 5 10 15 20 LENGTHS ARE IN METRES	LICENSED SURVEYOR (PRINT) JAMES PATRICK WALSH	DATE
		SIGNATURE DIGITALLY SIGNED	DATE
		REF 2224	VERSION 1
			COUNCIL DELEGATE SIGNATURE

TITLE INFORMATION

TITLE INFORMATION
PROPOSED RESIDENTIAL DEVELOPMENT AT
121 RAGLAN ST DAYLESFORD
VICTORIA 3460

ISSUE DATE 08/05/2023





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PROPOSED RESIDENTIAL DEVELOPMENT AT
121 RAGLAN STDAYLESFORD
VICTORIA 3460

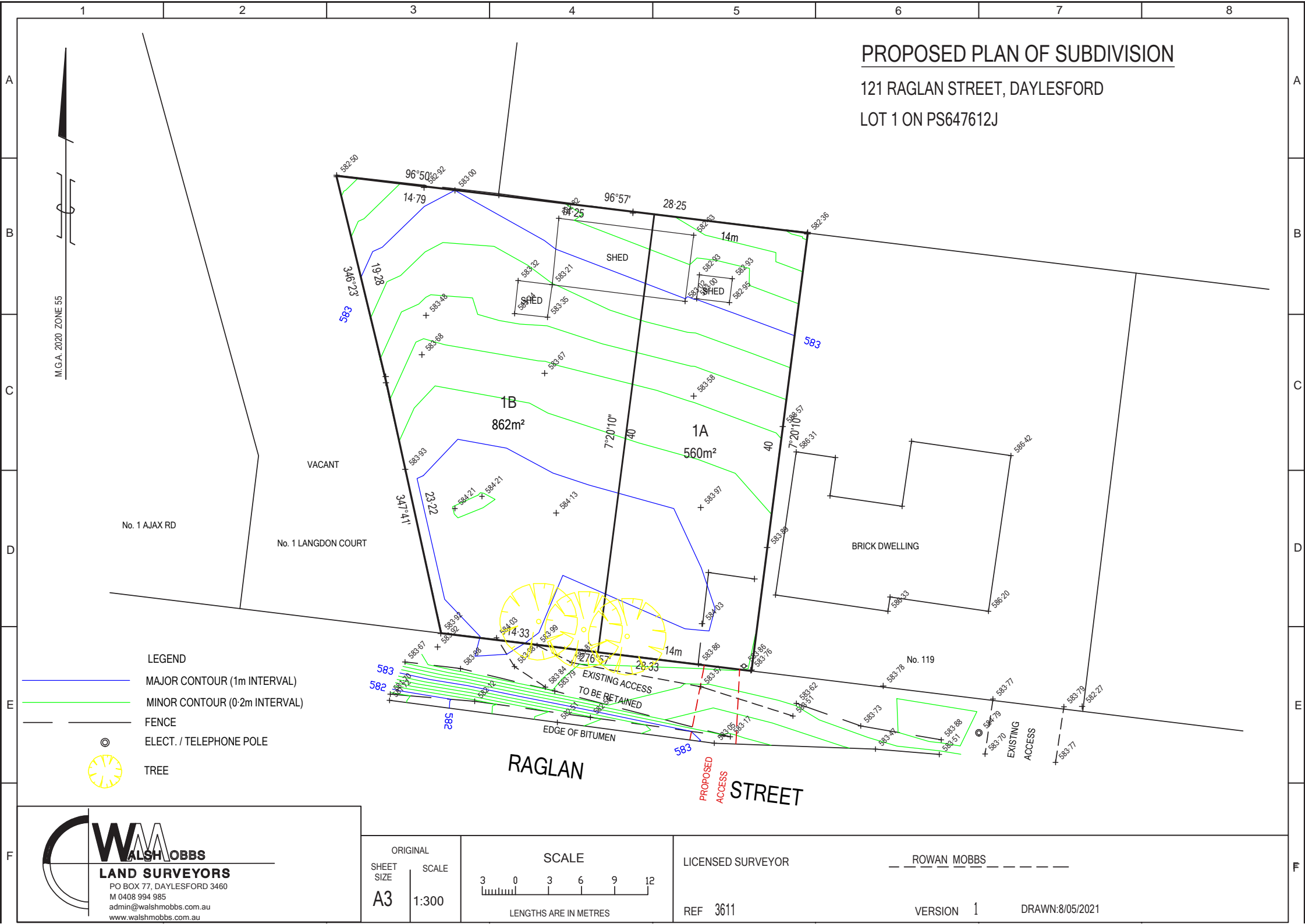
ISSUE DATE 08/05/2023

TITLE PLAN		EDITION 2	TP 942639D
LOCATION OF LAND		Notations	
Parish: WOMBAT Township: - Section: 20 Crown Allotment: 6 (PT) Crown Portion: -		ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	
Last Plan Reference:- Derived From: VOL. 188 FOL. 526 Depth Limitation: NIL		THIS PLAN HAS BEEN PREPARED BY LAND REGISTRY, LAND VICTORIA FOR TITLE DIAGRAM PURPOSES COMPILED: Date: 23/07/2009 VERIFIED: A. DALLAS Assistant Registrar of Titles	
Description of Land/Easement Information			
LENGTHS ARE IN METRES		Sheet 1 of 1 Sheets	

TITLE
INFORMATION



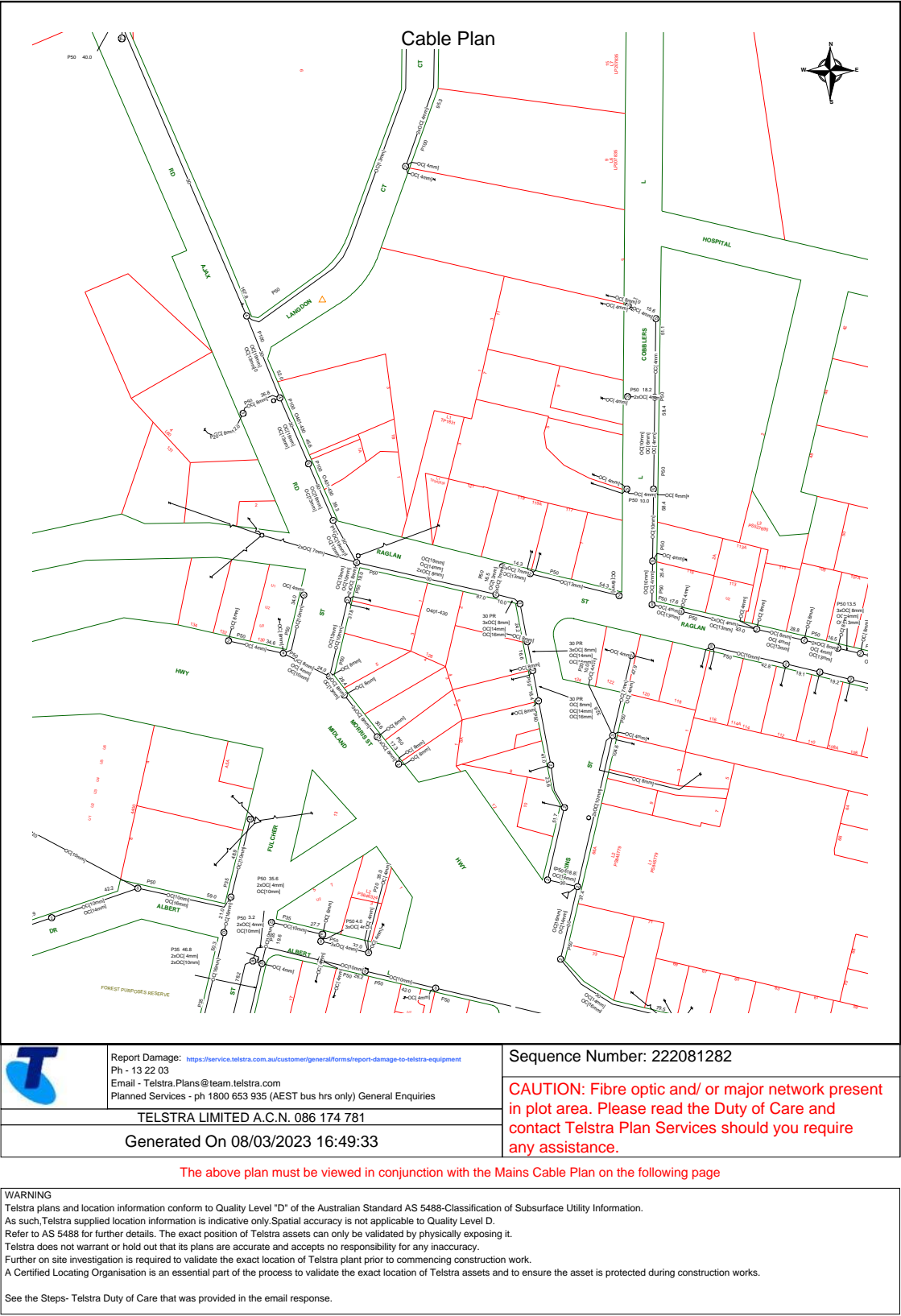
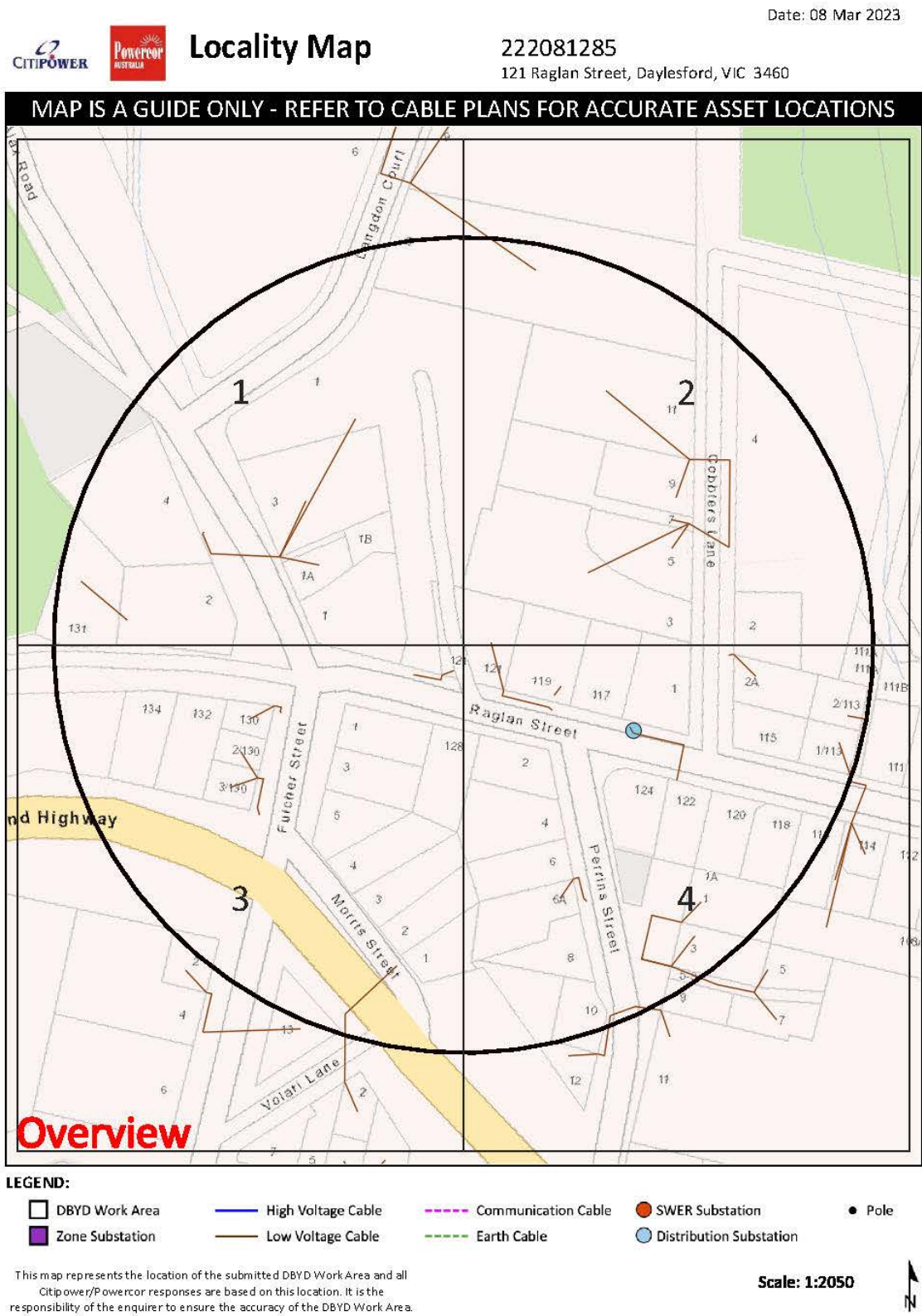
BOUNDARY RE-ESTABLISHMENT & EXISTING
FEATURE SURVEY



BOUNDARY RE-ESTABLISHMENT & EXISTING FEATURE SURVEY
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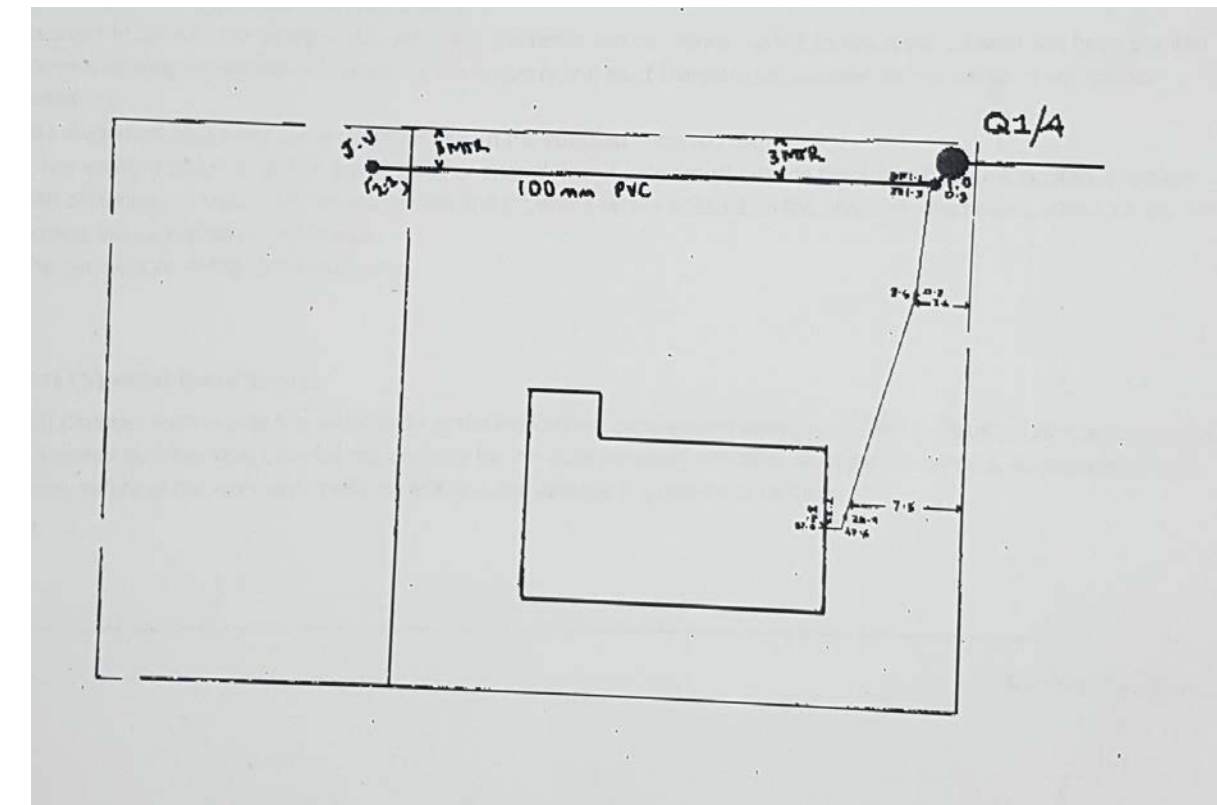
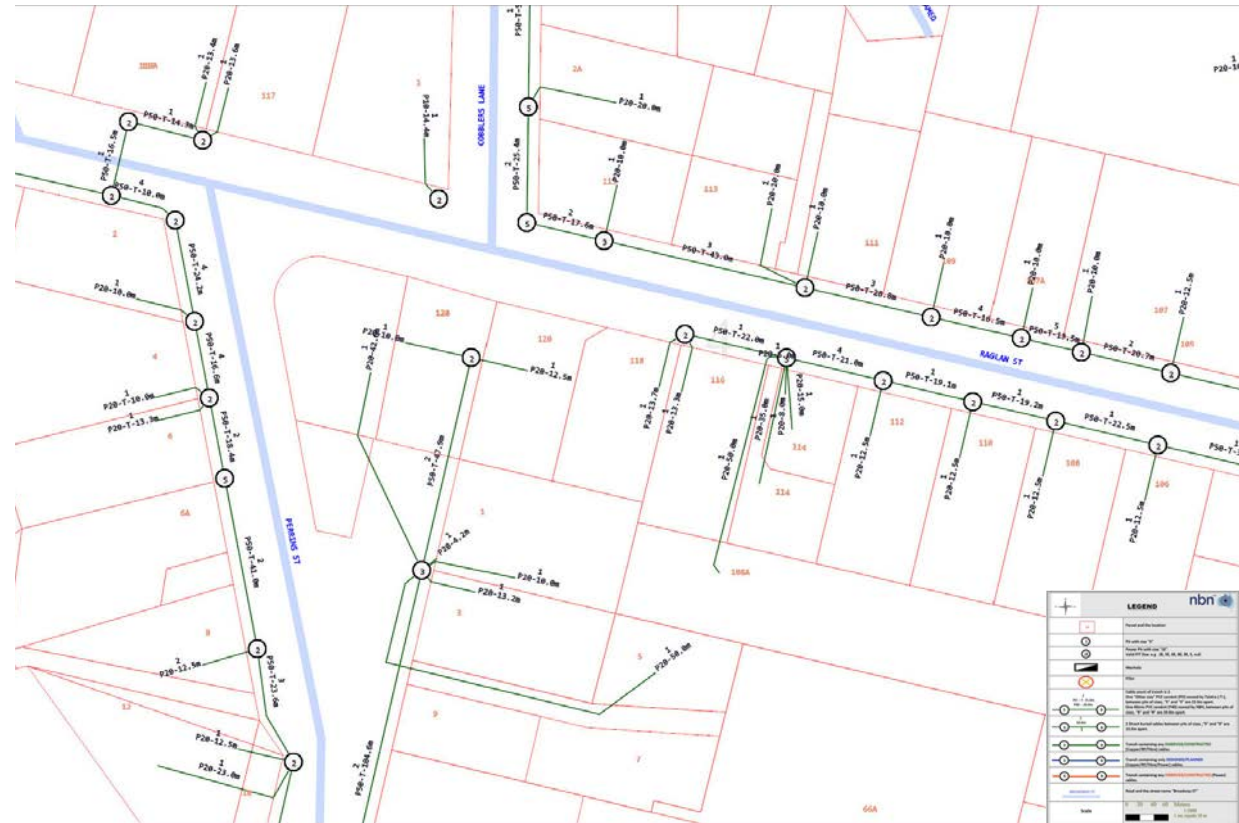


EXISTING SITE SERVICES
PROPOSED RESIDENTIAL DEVELOPMENT AT
121 RAGLAN ST DAYLESFORD
VICTORIA 3460

ISSUE DATE 08/05/2023



5



DEVELOPMENT OVERVIEW
3D VISUALISATION STUDIES



DEVELOPMENT OVERVIEW - 3D VISUALISATION STUDIES
PROPOSED RESIDENTIAL DEVELOPMENT AT
121 RAGLAN ST DAYLESFORD
VICTORIA 3460

ISSUE DATE 08/05/2023



DEVELOPMENT OVERVIEW
3D VISUALISATION STUDIES



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3D VISUALISATION STUDIES

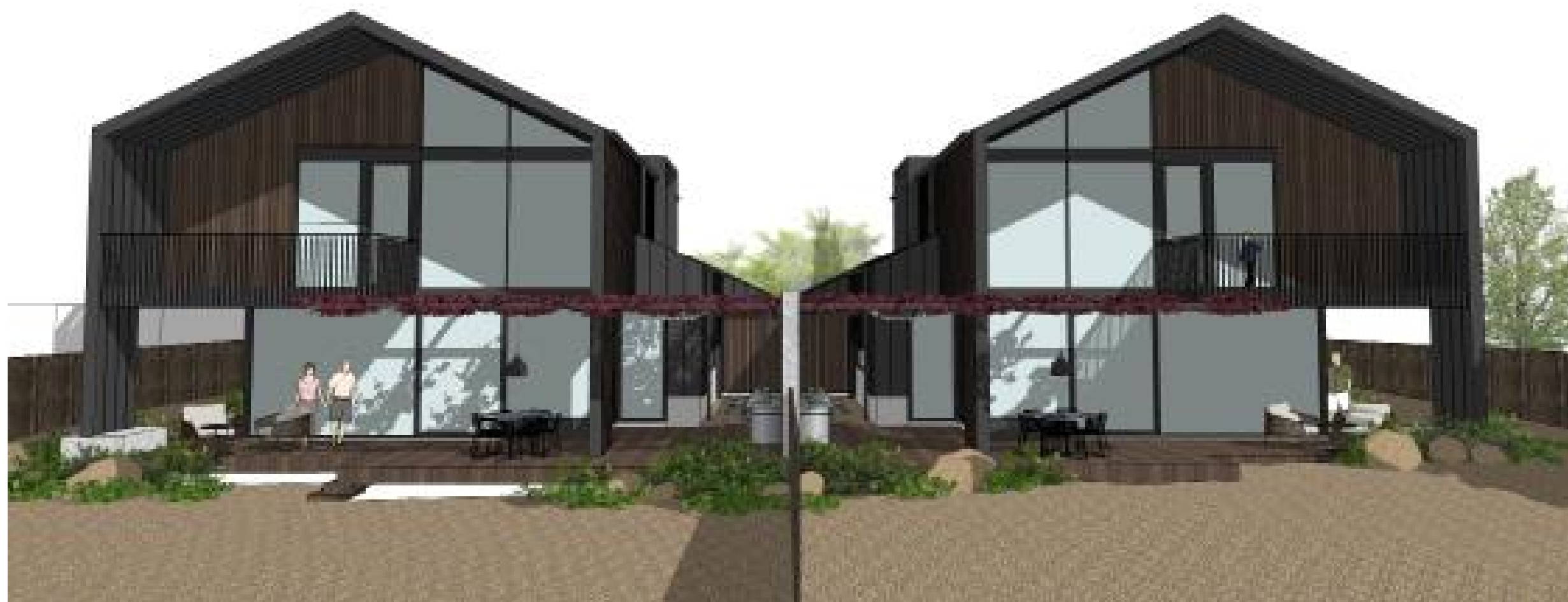


DEVELOPMENT OVERVIEW - 3D VISUALISATION STUDIES
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R RENDER - SMOOTH
Natural cement colour,
velvet finish



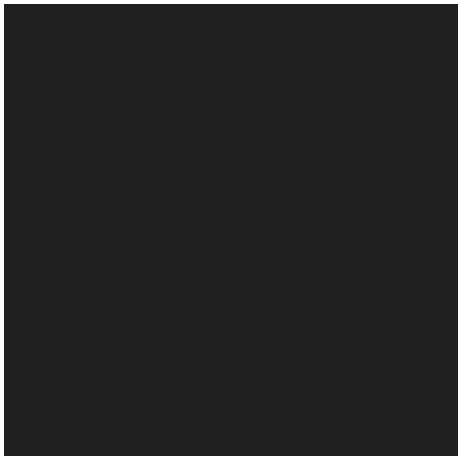
RR ROUGH RENDER
Natural cement colour,
stucco finish



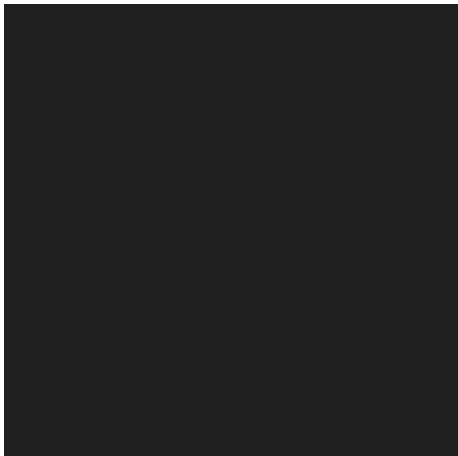
TC TIMBER CLADDING



MC METAL CLADDING
Fielders Finesse
standing seam cladding
in Matt Colorbond
“Monument”



AL POWDER COATED
ALUMINIUM
to match Colorbond
“Monument”



ES EXPRESSED STEEL
to match Colorbond
“Monument”



10.2 PLN23/0182 - 1A ELSBETH COURT DAYLESFORD EXECUTIVE MANAGER DEVELOPMENT

In providing this advice to Council as the {Position}, I {Author-Name} have no interests to disclose in this report.

ATTACHMENTS

1. Attachment 1 - Council Officer Clause 56 Assessment - 1 A Elsbeth Court Daylesford [**10.2.1** - 8 pages]
2. PL N 230182 - Combined Docs - 1A Elsbeth Court Daylesford - 201265 redacted [**10.2.2** - 15 pages]

EXECUTIVE SUMMARY

This Application for Planning Permit proposes a two-lot subdivision and creation of an easement at 1A Elsbeth Court, Daylesford.

The site is zoned Neighbourhood Residential Zone – Schedule 1 and it is subject to Environmental Significance Overlay – Schedule 1. A Planning Permit is not triggered by the Environmental Significance Overlay.

The application has been referred externally to Goulburn Murray Water and Central Highlands Water. Neither authority has objected to the application.

The application was referred internally to Council's Engineering and Building Teams and no concerns were raised.

Public notification of the application was required. No objections were lodged.

The applicant has lodged an appeal with the Victorian Civil and Administrative Tribunal (VCAT) as Council has not determined the application within 60 statutory days. As a result, Council cannot formally determine this application, but must decide its position at the upcoming VCAT hearing.

RECOMMENDATION

PART A

That Council:

- *having caused notice of Planning Application No. PLN23/0182 to be given under Section 52 of the Planning and Environment Act 1987 and /or the Hepburn Planning Scheme; and*
- *having considered all the matters required under Section 60 of the Planning and Environment Act 1987 decides to pursue refusal of the application at the upcoming Victorian Civil and Administrative Tribunal hearing on the following grounds:*

1. *Lot 2 does not provide for an acceptable outcome to the character of the area. The application documents show a 10 metre by 15 metre rectangle which has a 2 metre setback from the street. This setback is not consistent with the existing character of the area and is not responsive to planning policies which encourage an appropriate character response, with lot sizes and dimensions that complement the character of the area, including landscape character, as included in the following policies and reflected in the purpose of the Neighbourhood Residential Zone:*
 - *Clause 11.01-1L – Township and settlement;*
 - *Clause 15.01-1L – Urban design;*
 - *Clause 15.01-3L – Subdivision in Hepburn Shire;*
 - *Clause 15.01-5S – Neighbourhood character;*
 - *Clause 15.01-5L-01 – Neighbourhood character in Daylesford.*
2. *Lot 2 cannot provide for a lot area and dimensions which enable the appropriate siting and construction of a dwelling and does not provide for an appropriately sited 10 metre by 15 metre building envelope as required by Clause 56.04-2 and Standard C8.*
3. *The proposed subdivision does not respond to neighbourhood character as required by Clause 56.03-5 and Standard C6.*
4. *The subdivision does not respond to the purpose of the Neighbourhood Residential Zone – Schedule 1 and its decision guidelines as the approval of the application would result in a subdivision outcome which would adversely affect the key characteristics of the precinct, particularly in relation to lot size and area and the ability for the future development of the lot to achieve an appropriate front setback.*

PART B

That Council, through the upcoming Victorian Civil and Administrative Tribunal process:

1. *Provides Council's representatives with the authority to negotiate a building envelope with an increased front setback that appropriately responds to the Neighbourhood Residential Zone – Schedule 1, and the character of the surrounding area; and,*
2. *Provides Council's representatives with the authority to negotiate an outcome that restricts the development of Lot 2 to a single storey dwelling, via a Section 173 Agreement.*

BACKGROUND

Subject site

The subject site is located on the corner of Elsbeth Court and Millar Street, Daylesford.

The site is a slightly irregularly shaped lot of approximately 805 square metres in area. The site has a frontage of approximately 17 metres to Millar Street.

The site is currently developed with two double storey attached dwellings which have been developed in the front section of the lot. The dwellings are setback two metres from Elsbeth Court and four metres from Millar Street. Vehicle access is provided to the dwellings from Elsbeth Court. The existing development of the site and its siting can be seen in the images below.



Image 1 | Photo of site

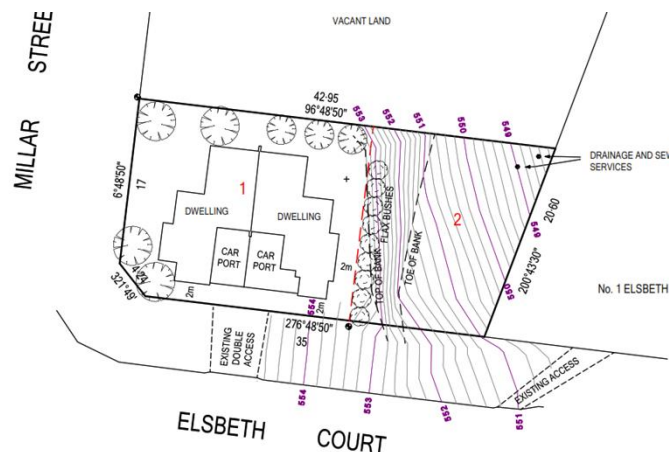


Image 2 | Plan showing current site development

The rear section of the site has a significant fall. The lot falls approximately four metres over a distance of approximately 18.8 metres. This can be seen in the image below.



Image 3 | Photo showing undeveloped portion of subject site

Surrounding area

The site is located in an established residential area. The site and surrounding area is located in the Neighbourhood Residential Zone – Schedule 1. Properties in the area are generally developed with single dwellings on medium sized lots.

Dwellings which have frontages to Elsbeth Court have substantial front setbacks, as can be seen in the aerial image below.



Image 4 | Aerial image of the site. Site is highlighted by red arrow

Land to the north of the site is currently vacant.

The Hepburn Regional Park is located to the north-east of the site.

Proposal

This is an application for a two lot subdivision.

The details of the proposed subdivision are as follows and the subdivision arrangement can be seen in the image below.

- Lot 1 has an area of 478 square metres and includes the two existing dwellings;
- Lot 2 has an area of 327 square metres and is currently vacant;
- A 3 metre wide drainage and sewerage easement is proposed along the northern boundary of Lot 2.

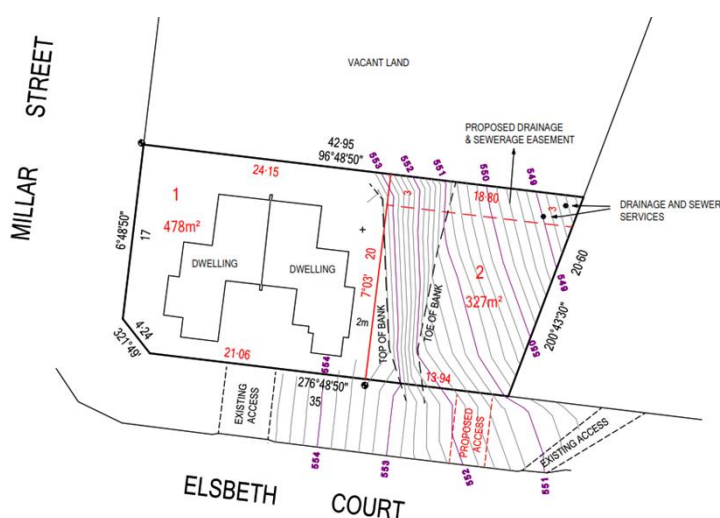


Image 5 | Proposed subdivision

Permit history

There is no permit/site history relevant to the application.

Victorian Civil and Administrative Tribunal appeal

On 21 December 2023 the applicant lodged an appeal under Section 79 of the *Planning and Environment Act, 1987* as Council had not made a decision on the application within 60 statutory days. The application is listed for the following hearings at the Victorian Civil and Administrative Tribunal (VCAT):

- Compulsory Conference – 19 June, 2024;
- Hearing – 20 August, 2024.

Referrals

The following external referrals were undertaken.

Section 55, determining referral authorities

Authority:	Goulburn Murray Water
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Summarised response:	No objection subject to standard conditions
Officer Comment: Noted	

Authority:	Central Highlands Water
Summarised response:	No objection subject to standard conditions
Officer Comment: Noted	

Internal referrals

The following internal referrals were undertaken.

Department:	Engineering
Summarised response:	The application was supported and standard conditions were suggested.
Officer Comment: Noted	

Department:	Building
Summarised response:	No concerns raised
Officer Comment: Noted	

Public notification

The application is not exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act and pursuant to Section 52 of the Planning and Environment Act 1987 the following forms of advertising were undertaken:

- Notices were sent to owners and occupiers of adjoining land (including opposite);
- An A3 sign was placed on the land.

Objections

No objections have been lodged with Council.

Planning Scheme

The site is located in the Neighbourhood Residential Zone – Schedule 1 (NRZ1). It is subject to the following overlays:

- Environmental Significance Overlay – Schedule 1;
- Environmental Significance Overlay – Schedule 2 (ESO2).

A Planning Permit is required for this application pursuant to the following clauses of the Hepburn Planning Scheme:

- Clause 32.09-3 - subdivide land in the NRZ1;
- Clause 42.01-2 – subdivide land in ESO2.

KEY ISSUES

The application has been assessed as follows.

Planning Policy

The following planning policies are relevant to the consideration of this application:

- 02.03-1 – Settlement;
- 02.03-5 – Built environment and heritage;
- 02.03-6 – Housing;
- 11.01-1R – Settlement – Central Highlands;
- 11.01-1L – Townships and settlements;
- 15.01-1L – Urban design;
- 15.01-3L – Subdivision in Hepburn Shire;
- 15.01-5S – Neighbourhood character;
- 15.01-5L-01 – Neighbourhood character in Daylesford;
- 15.01-5L-02 – Neighbourhood character in townships and settlements;
- 16.01-1S – Housing supply;
- 71.02-3 – Integrated decision making.

The planning policy framework includes direction to provide for appropriate urban consolidation opportunities within the township of Daylesford to make efficient use of existing infrastructure. The application is consistent with these policy objectives, found at Clause 11.01-1R, Clause 11.01-1L and Clause 02.03-1.

The application is also consistent with planning policy which seeks to ensure that housing is provided for a variety of household types, as detailed at Clauses 02.03-6 and 16.01-1S.

A significant focus of the planning policy framework at state and local level is ensuring an appropriate response to neighbourhood character with policy encouraging development outcomes which:

- *Ensure development respects the low scale, vegetated and natural and rural character of townships;*
- *Ensure that development respects and enhances notable features and landmarks of townships such as building form, volume, low scale height, setbacks, spacing, streetscapes, tree lined streets, intact heritage places and existing vegetation;*
- *Ensure new street and subdivision layouts reflect and integrate with surrounding grid-based or gold rush subdivision patterns within townships where enabled by topography;*

to the character of the area. A two metre front setback does not allow for a landscaped character to be established for the lot and will provide for a development which is setback a distance normally allowed for side walls of a development, not front walls. In addition, it is noted that if the subdivision was approved, the lot would be over 300 square metres in area and there would be no further planning approval required for the development of the lot.

In light of the above, it is assessed that the application is not consistent with the planning policy framework that relates to neighbourhood character, particularly Clauses 11.01-1L, 15.01-1L, 15.01-3L, 15.01-5S and 15.01-5L-02.

These are recommended grounds of refusal to be pursued at VCAT.

Zone

The site is located in the Neighbourhood Residential Zone, the purpose of which is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To recognise areas of predominantly single and double storey residential development.*
- *To manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

The neighbourhood character objective of NRZ1 is *to ensure development achieves the identified preferred neighbourhood character for Daylesford.*

The decision guidelines of NRZ1 require Council to consider whether:

- *The subdivision retains the important elements and features which form part of the significance and character of the precinct, the visual setting and the important view lines between these elements.*
- *Whether the subdivision will complement or adversely affect the key characteristics of the precinct such as streetscape, lot sizes, lot pattern, lot layout or existing building forms in the precinct or would result in development that would adversely affect the rhythm, scale and pattern of buildings in the precinct.*

It is assessed that the subdivision will adversely affect the key characteristics of the precinct, as a result of the proposed size and dimensions of Lot 2 which will not allow a dwelling to be developed on the land which will respond to the character of the area given that the character of the area includes large front setbacks and opportunities for planting in the front setback area.

Pursuant to Clause 32.09-3 the subdivision is required to provide 25% garden area. The submission of a garden area plan has demonstrated compliance with this requirement. If the subdivision is approved, it will be necessary to include a Section 173 Agreement condition which requires that the future development of the lot provides for 25% garden area.

The application is required to be assessed against Clause 56 – Residential Subdivision (Clause 56) and this assessment can be seen in the attachment. The application is generally consistent with Clause 56 apart from:

- Clause 56.03-5 – Neighbourhood character objective;
- Clause 56.04-2 – Lot area and building envelopes objective.

These critical areas of non-compliance link back to the neighbourhood character concerns detailed in the previous section of the report.

Clause 56.03-5 seeks to *design subdivisions that respond to neighbourhood character*. It states that subdivision should:

- Respect the existing neighbourhood character or achieve a preferred neighbourhood character consistent with any relevant neighbourhood character objective, policy or statement set out in this scheme.
- Respond to and integrate with the surrounding urban environment.
- Protect significant vegetation and site features.

Lot 2 is constrained by topography, a 3 metre wide easement on the northern boundary and the need to provide for garden area.

While the frontage of the lot is appropriate in this neighbourhood from a neighbourhood character perspective, the overall dimensions of the lot do not provide for a lot area which can be developed in a way which is consistent with the character of the area. Of particular concern is the small front setback which is proposed, as this setback is not respectful of the existing neighbourhood character.

Clause 56.04-2 seeks to *provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking, water management, easements and the retention of significant vegetation and site features*. It states that lots of between 300 square metres and 500 square metres should:

- *Contain a building envelope that is consistent with a development of the lot approved under this scheme, or*
- *If not development of the lot has been approved under this scheme, contain a building envelope and be able to contain a rectangle measuring 10 metres by 15 metres, or 9 metres by 15 metres if a boundary wall is nominated as part of the building envelope.*

A building envelope may specify or incorporate any relevant siting and design requirement. Any requirement should meet the relevant standards of Clause 54, unless:

- *The objectives and relevant standards are met, and*

- *The building envelope is shown as a restriction on a plan of subdivision registered under the Subdivision Act 1988, or is specified as a covenant on an agreement under Section 173 of the Act.*

Where a lot with a building envelope adjoins a lot that is not on the same plan of subdivision or is not subject to the same agreement relating to the relevant building envelope:

- *The building envelope must meet Standards A10 and A11 of Clause 54 in relation to the adjoining lot; and*
- *The building envelope must not regulate siting matters covered by Standards A12 to A15 (inclusive) of Clause 54 in relation to the adjoining lot. This should be specified in the relevant plan of subdivision or agreement.*

The above requirements are designed to ensure that Council approves subdivisions which have lots sizes that are readily developable with a dwelling. The State Government has adopted an appropriately sited 10 metre by 15 metre rectangle as a benchmark to demonstrate that lots are easily developable with a dwelling. It is noted, and has been pointed out by the applicant, that the relevant standard states 'should' rather than 'must'. This language is consistent with much of the language in the planning scheme which allows for a performance-based approach, rather than mandating an outcome.

The proposed 2 metre front setback is not consistent with the requirements of Clause 54.

Clause 54.03-1 – Street Setback Objective includes Table A1 – Street setback (below).

Development context	Minimum setback from front street (Metres)	Minimum setback from a side street (Metres)
There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.	Not applicable
There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.	Not applicable
There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	6 metres for streets in a Transport Zone 2 and 4 metres for other streets.	Not applicable
The site is on a corner.	<p>If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser.</p> <p>If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Transport Zone 2 and 4 metres for other streets.</p>	The same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.

Image 7 | Street setback table

In the case of the subject site, the two dwellings which are located on the corner of Millar Street and Elspeth Court have a front setback of 4 metres to Millar Street and a side setback of 2 metres to Elspeth Court. The adjoining dwelling to the east at 1

Elspeth Court is setback more than nine metres from the street. This can be seen in the image below.

Under the street setback standard, a front setback of nine metres is required to be provided as the minimum setback from the front street is required to be the same distance as the setback of the front wall of the existing dwelling on the abutting allotment facing the front street, or nine metres, whichever is the lesser.

The applicant has argued that the front walls of the existing development at 1A Elspeth Court front Elspeth Court. Even if this was accepted, Table A1 would require a front setback of 5.5 metres, which is the average of the setback of the development undertaken on the two adjoining lots.



Image 8 | Aerial image

It is acknowledged that variations to Table A1 can be approved.

Council can approve variations which provide for front setbacks that respect the existing or preferred neighbourhood character and make efficient use of the site. In making this assessment, Council is required to be guided by the following decision guidelines:

- *Any relevant neighbourhood character objective, policy or statement set out in this scheme.*
- *The design response.*
- *Whether a different setback would be more appropriate taking into account the prevailing setbacks of existing buildings on nearby lots.*
- *The visual impact of the building when viewed from the street and from adjoining properties.*
- *The value of retaining vegetation within the front setback.*

However, given that an appropriately sited rectangle cannot be shown on the vacant lot, this is a recommended ground of refusal to be pursued at VCAT.

Council officers have suggested that the application is amended to provide for a combined development and subdivision outcome, as this would allow Council to consider an alternate setback based on a known development outcome. There is scope for a smaller front setback to be approved on the site, potentially a front setback of 6 metres could be appropriate, depending on the design of the development. The applicant did not take up this suggestion and instead lodged an appeal with VCAT.

Given that an appropriately sited rectangle cannot be shown on the vacant lot, this is a recommended ground of refusal to be pursued at VCAT.

During the Council Briefing process the applicant suggested to Council that they would be prepared to accept a 4 metre front setback and a restriction to require single development on the land. The 4 metre front setback is an improvement on the existing situation and the offer to restrict the development of the lot to single storey assists in providing for housing affordability.

As required by the zone, a full assessment against Clause 56 is included in the attachment to this report.

Overlay

The site is subject to Environmental Significance Overlay – Schedule 1 (ESO1). There is no permit trigger under ESO1 for the subdivision of land.

Conclusion

As the subdivision does not provide an appropriate response to the character of the area it is recommended that Council pursues refusal of the application at the upcoming VCAT hearing.

VCAT have scheduled the application for a Compulsory Conference where the opportunity is available to modify the proposal, particularly the front setback, to a point where Council officers are comfortable that an appropriate response to the character of the area and the Neighbourhood Residential Zone is achieved. As such, the recommendation for this application is a two part recommendation:

- Part A – recommends that Council refuses the application; and
- Part B – provides the opportunity for Council officers to negotiate an appropriate front setback at VCAT and to take up the applicant's offer of restricting development on Lot 2 to single storey in scale. This would occur through a permit condition which requires a Section 173 Agreement.

POLICY AND STATUTORY IMPLICATIONS

This application meets Council's obligations as Responsible Authority under the *Planning and Environment Act, 1987*.

GOVERNANCE ISSUES

The implications of this report have been assessed in accordance with the requirements of the Victorian Charter of Human Rights and Responsibilities.

SUSTAINABILITY IMPLICATIONS

There are no sustainability implications associated with this report.

FINANCIAL IMPLICATIONS

This application has been appealed to VCAT under Section 79 of the *Planning and Environment Act, 1987* as Council has not made a decision on the application within 60 statutory days. There is no cost to Council to be part of this appeal.

Council may incur costs through the VCAT process.

RISK IMPLICATIONS

The permit applicant may seek costs against Council as part of the VCAT appeal process.

COMMUNITY AND STAKEHOLDER ENGAGEMENT

The application has been advertised by sending notification of the proposal to adjoining and adjacent owners and a notice on the land. No objections have been lodged with Council.

ATTACHMENT 1 – CLAUSE 56 ASSESSMENT

56.03 Liveable and sustainable communities			
56.03-5 Neighbourhood character objective	Standard C6	Met	Comments
<i>To design subdivisions that respond to neighbourhood character</i>	<p><i>Subdivision should:</i></p> <ul style="list-style-type: none"> <i>Respect the existing neighbourhood character, or achieve a preferred neighbourhood character, consistent with any relevant neighbourhood character objective, policy or statement set out in this scheme;</i> <i>Respond to and integrate with the surrounding urban environment;</i> <i>Protect significant vegetation and site features.</i> 	No	Does not comply As detailed in the body of the report. This is a recommended ground of refusal.

56.04 Lot Design			
56.04-2 Lot area and building envelopes objective	Standard C8	Met	Comments
<i>To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking, water management, easements and the retention of significant vegetation and site features.</i>	<p><i>An application to subdivide land that creates lots of less than 300 square metres should be accompanied by information that shows:</i></p> <ul style="list-style-type: none"> <i>That the lots are consistent or contain a building envelope that is consistent with a development approved under this scheme, or</i> <i>That a dwelling may be constructed on each lot in accordance with the requirements of this scheme.</i> 	NA	Does not comply As detailed in the body of the report. This is a recommended ground of refusal.
	<p><i>Lots of between 300 square metres and 500 square metres should:</i></p> <ul style="list-style-type: none"> <i>Contain a building envelope that is consistent with a development of the lot approved under this scheme, or</i> <i>If no development of the lot has been approved under this scheme, contain a building envelope and be able to contain a rectangle measuring 10 metres x 15 metres, or 9 metres x 15 metres if a boundary wall is nominated as part of the building envelope</i> 	No	

	<i>If lots of between 300 square metres and 500 square metres are proposed to contain buildings that are built to the boundary, the long axis of the lots should be within 30°E and 20°W of north unless there are significant physical constraints that make this difficult to achieve.</i>	NA	
	<i>Lots greater than 500 square metres in area should be able to contain a rectangle measuring 10 metres x 15 metres, and may contain a building envelope.</i>	NA	
	<i>A building envelope may specify or incorporate any relevant siting and design requirement. Any requirement should meet the relevant standards of Clause 54, unless:</i> <ul style="list-style-type: none"> <i>• The objectives of the relevant standard are met, and</i> <i>• The building envelope is shown as a restriction on a plan of subdivision registered under the Subdivision Act 1988 or is specified as a covenant in an agreement under Section 173 of the Act.</i> 	NA	
	<i>Where a lot with a building envelope adjoins a lot that is not on the same plan of subdivision or is not subject to the same agreement relating to the relevant building envelope:</i> <ul style="list-style-type: none"> <i>• The building envelope must meet Standards A10 and A11 and Clause 54 in relation to the adjoining lot, and</i> <i>• The building envelope must not regulate siting matters covered by Standards A12 to A15 (inclusive) of Clause 54 in relation to the adjoining lot. This should be specified in the relevant plan of subdivision or agreement.</i> 	NA	
	<i>Lot dimensions and building envelopes should protect:</i> <ul style="list-style-type: none"> <i>• Solar access for future dwellings and support the siting and design of dwellings that achieve the energy rating requirements of the Building Regulations.</i> <i>• Existing or proposed easements on lots.</i> 	Yes	

	<ul style="list-style-type: none"> Significant vegetation and site features. 		
56.04-3 Solar orientation of lots objective	Standard C9	Met	Comments
To provide good solar orientation of lots and solar access for future dwellings	Unless the site is constrained by topography or other site conditions, at least 70 percent of lots should have appropriate solar orientation.	Yes	Complies The lot can be developed with a dwelling which can achieve good access to northern light for living areas and open space
	Lots have appropriate solar orientation when: <ul style="list-style-type: none"> The long axis of lots are within the range north 20 degrees west to north 30 degrees east, or east 20 degrees north to east 30 degrees south. Lots between 300 square metres and 500 square metres are proposed to contain dwellings that are built to the boundary, the long axis of the lots should be within 30 degrees east and 20 degrees west of north. Dimensions of lots are adequate to protect solar access to the lot, taking into account likely dwelling size and the relationship of each lot to the street. 	Yes	
56.04-5 Common area objectives	Standard C11	Met	Comments
To identify common areas and the purpose for which the area is commonly held. To ensure the provision of common area is appropriate and that necessary management arrangements are in place. To maintain direct public access throughout the neighbourhood street network.	An application to subdivide land that creates common land must be accompanied by a plan and a report identifying: <ul style="list-style-type: none"> The common area to be owned by the body corporate, including any streets and open space. The reasons why the area should be commonly held. Lots participating in the body corporate. The proposed management arrangements including maintenance standards for streets and open spaces to be commonly held. 	NA	No common property proposed

56.06 | Access and mobility objectives

56.06-8 Lot access objective	Standard C21	Met	Comments
-------------------------------------	---------------------	------------	-----------------

<i>To provide for safe vehicle access between roads and lots.</i>	<i>Vehicle access to lots abutting arterial roads should be provided from service roads, side or rear lanes, access places or access streets where appropriate and in accordance with the access management requirements of the relevant roads authority.</i>	NA	Complies Appropriate lot access is available to both lots
	<i>Vehicle access to lots of 300sqm or less in area and lots with frontage of 7.5m or less should be provided via rear or side access lanes, places or streets.</i>	NA	
	<i>The design and construction of a crossover should meet the requirements of the relevant road authority.</i>	Yes	

56.07 Integrated water management			
56.07-1 Drinking water supply objectives	Standard C22	Met	Comments
<i>To reduce the use of drinking water To provide adequate, cost-effective supply of drinking water</i>	<i>The supply of drinking water must be:</i> <ul style="list-style-type: none"> <i>Designed and constructed in accordance with the requirements and to the satisfaction of the relevant water authority.</i> <i>Provided to the boundary of all lots in the subdivision to the satisfaction of the relevant water authority</i> 	Yes	Complies The supply of drinking water to each lot will be from the existing reticulated water supply mains in accordance with the requirements of Central Highlands Water.
56.07-2 Reused and recycled water objective	Standard C23	Met	Comments
<i>To provide for the substitution of drinking water for non-drinking water purposes with reused and recycled water,</i>	<i>Reused and recycled water supply systems must be:</i> <ul style="list-style-type: none"> <i>Designed and constructed in accordance with the requirements and to the satisfaction of the relevant water authority, Environment Protection Authority and Department of Health and Human Services.</i> <i>Provided to the boundary of all lots in the subdivision where required by the relevant water authority.</i> 	N/A	No recycled or reused water usage is proposed.
56.07-3 Waste water management objective	Standard C24	Met	Comments
<i>To provide a waste water system that is adequate for the maintenance of</i>	<i>Waste water systems must be:</i> <ul style="list-style-type: none"> <i>Designed, constructed and managed in accordance with the</i> 	Yes	Complies

<i>public health and the management of effluent in an environmentally friendly manner.</i>	<i>requirements and to the satisfaction of the relevant water authority and the Environmental Protection Authority.</i> <ul style="list-style-type: none">• <i>Consistent with any relevant approved domestic waste water management plan.</i>		Reticulated sewerage will become available to the subject land. Connection to the existing reticulated sewerage system is required and will be undertaken to the satisfaction of Central Highlands Water.
	<i>Reticulated waste water must be provided to the boundary of all lots in the subdivision where required by the relevant water authority.</i>	Yes	
56.07-4 Stormwater management objectives	Standard C25	Met	Comments
<p><i>To minimise damage to properties and inconvenience to residents from stormwater.</i></p> <p><i>To ensure that the street operates adequately during major storm events and provides for public safety.</i></p> <p><i>To minimise increases in stormwater and protect the environmental values and physical characteristics of receiving waters from degradation by stormwater.</i></p> <p><i>To encourage stormwater management that maximises the retention and reuse of stormwater.</i></p> <p><i>To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces</i></p> <p><i>To ensure that the street operates adequately during major storm events and provides for public safety.</i></p>	<p><i>The stormwater management system must be:</i></p> <ul style="list-style-type: none"> • <i>Designed and managed in accordance with the requirements and to the satisfaction of the relevant drainage authority.</i> • <i>Designed and managed in accordance with the requirements and to the satisfaction of the water authority where reuse of stormwater is proposed.</i> • <i>Designed to meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).</i> • <i>Designed to ensure that flows downstream of the subdivision site are restricted to pre-development levels unless increased flows are approved by the relevant drainage authority and there are no detrimental downstream impacts.</i> • <i>Designed to contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.</i> 	Yes	Complies Council's Engineers have not raised any concerns with the proposal
	<i>The stormwater management system should be integrated with the overall development plan including the street and public open space networks and landscape design.</i>	Yes No NA	
	<i>For all storm events up to and including the 20% Average Exceedence Probability (AEP) standard:</i>	Yes	

<p><i>To minimise increases in stormwater run-off and protect the environmental values and physical characteristics of receiving waters from degradation by urban run-off.</i></p>	<ul style="list-style-type: none"> • Stormwater flows should be contained within the drainage system to the requirements of the relevant authority. • Ponding on roads should not occur for longer than 1 hour after the cessation of rainfall. 		
	<p><i>For storm events greater than 20% AEP and up to and including 1% AEP standard:</i></p> <ul style="list-style-type: none"> • Provision must be made for the safe and effective passage of stormwater flows. • All new lots should be free from inundation or to a lesser standard of flood protection where agreed by the relevant floodplain management authority. • Ensure that streets, footpaths and cycle paths that are subject to flooding meet the safety criteria $d_a V_{ave} < 0.35 \text{m}^2/\text{s}$ (where, d_a = average depth in metres and V_{ave} = average velocity in metres per second). 	Yes	
	<p><i>The design of the local drainage network should:</i></p> <ul style="list-style-type: none"> • Ensure run-off is retarded to a standard required by the responsible drainage authority. • Ensure that every lot is provided with drainage to a standard acceptable to the relevant drainage authority. Where possible, run-off should be directed to the front of the lot and discharged into the street drainage system or legal point of discharge. • Ensure that inlet and outlet structures take account of the effects of obstructions and debris build up. Any surcharge drainage pit should discharge into an overload flow in a safe and predetermined manner. • Include water sensitive urban design features to manage run-off in streets and public open space. Where such features are provided, an application must describe maintenance responsibilities, requirements and costs. 	Yes	

	<i>Any flood mitigation works must be designed and constructed in accordance with the requirements of the relevant floodplain management authority.</i>	Yes	
--	---	-----	--

56.08 Site management			
56.08-1 Site Management Objective	Standard C26	Met	Comments
<i>To protect drainage infrastructure and receiving waters from sedimentation and contamination.</i>	<i>A subdivision application must describe how the site will be managed prior to and during the construction period and may set out requirements for managing:</i> <ul style="list-style-type: none"> <i>Erosion and sedimentation.</i> <i>Dust</i> <i>Run-off</i> <i>Litter, concrete and other construction wastes.</i> <i>Chemical contamination.</i> <i>Vegetation and natural features planned for retention.</i> 	No	Not provided, but this could be conditioned if necessary
<i>To protect the site and surrounding area from environmental degradation or nuisance prior to and during construction of subdivision works.</i> <i>To encourage the re-use of materials from the site and recycled materials in the construction of subdivisions where practicable.</i>		NA	

56.09 Utilities			
56.09-1 Shared trenching objective	Standard C27	Met	Comments
<i>To maximise the opportunities for shared trenching.</i> <i>To minimise constraints on landscaping within street reserves.</i>	<i>Reticulated services for water, electricity and telecommunications should be provided in shared trenching to minimise construction costs and land allocation for underground services.</i>	Yes	The proposed lots will be connected to existing water, electricity and telecommunications infrastructure where possible. Shared trenching will be utilised where possible.
56.09-2 Electricity, telecommunications objectives	Standard C28	Met	Comments
<i>To provide public utilities to each lot in a timely, efficient and cost effective manner.</i>	<i>The electricity supply system must be designed in accordance with the requirements of the relevant electricity supply agency and be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant electricity authority.</i>	Yes	Permit conditions can address these requirements

<p><i>To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources.</i></p>	<p><i>Arrangements that support the generation or use of renewable energy at a lot or neighbourhood level are encouraged.</i></p>	NA	
	<p><i>The telecommunication system must be designed in accordance with the requirements of the relevant telecommunications servicing agency and should be consistent with any approved strategy, policy or plan for the provision of advanced telecommunications infrastructure, including fibre optic technology. The telecommunications system must be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant telecommunications servicing authority.</i></p>	Yes	

Application Summary



Application Information	
Council Reference	PLN23/0182
Application Received	4 August 2023
Address	1A Elsbeth Court DAYLESFORD VIC 3460
Proposal	2 Lot subdivision
Existing Use	Residential / Accommodation
Proposed Use	Residential / Accommodation
Estimated Cost	\$0.00
Applicant Name	Walsh Mobbs Land Surveyors
Heritage Plan Required	No
Number of Dwellings	0
Application Category	Permit Application
Title Information	Not Applicable (there are no encumbrances)
Pre-Application Meeting	No Meeting Undertaken

Attachment Information

Planning Scheme Assessment - Planning Report_1A Elsbeth Court.pdf - PDF
Proposal Plans - Proposed Subdivision_1A Elsbeth Ct.pdf - PDF
Certificate of Title - Title_1A Elsbeth Ct.pdf - PDF

Declaration

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application. By selecting 'Yes' in the below drop-down box, you are declaring that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

It is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

Date Accepted: 4 August 2023

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

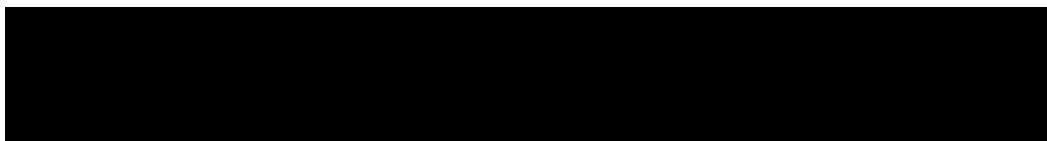
VOLUME 10476 FOLIO 556

Security no : 124105655354B
Produced 27/04/2023 11:35 AM

LAND DESCRIPTION

Lot 3 on Plan of Subdivision 411720X.
PARENT TITLE Volume 10152 Folio 944
Created by instrument PS411720X 29/10/1999

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES



Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS411720X FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

ADMINISTRATIVE NOTICES

NIL

eCT Control 15940N COMMONWEALTH BANK OF AUSTRALIA
Effective from 24/04/2019

DOCUMENT END

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PLAN OF SUBDIVISION

Stage No.

LTO use only

EDITION 1

ATTACHMENT 10122

PS 411720X

Location of Land

Parish: Wombat

Township:

Section 2

Crown Allotment: 14 (Part) & 17

Crown Portion:

LTO base record: Chart 3857

Title References:

Vol Fol

10152 944

Last Plan Reference: PS 319876D

Postal Address: MILLAR STREET DAYLESFORD, 3460

AMG Co-ordinates: N 246640

(Of approx. centre of plan) E 5863640

Zone 55

Council Certification and Endorsement

Council Name: Hepburn Shire

Ref: PS 411720X

1. This plan is certified under section 6 of the Subdivision Act 1988.

2. ~~This plan is certified under section 11(7) of the Subdivision Act 1988.~~

~~Date of original certification under section 6 / /~~

3. ~~This is a statement of compliance issued under section 21 of the Subdivision Act 1988.~~

Open Space

(I) A requirement for public open space under section 18 Subdivision Act 1988 ~~has~~ / has not been made.

(II) The requirement has been satisfied.

(III) The requirement is to be satisfied in Stage

Council Delegate

~~Council seal~~

Date 22 / 1 / 98

Vesting of Roads or Reserves

Identifier

Council/Body/Person

Road RI

Hepburn Shire Council



SPPS411720X-1-6

Notations

Depth Limitation: Does not apply

Staging

This is/is not a staged subdivision
Planning Permit No.

Survey:- This plan is / ~~is not~~ based on survey.

This Plan is based on the Survey in PS 319876D

To be completed where applicable.

This survey has been connected to permanent marks no(s). 19, 140, 153 & 155

In proclaimed Survey Area no. 50

Easement Information

Legend:

A - Appurtenant Easement

E - Encumbering Easement

R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1 & E-2	Pipeline or Ancillary Purposes	3	This Plan. Sec. 136 of the Water Act 1989.	Central Highlands Region Water Authority .
E-3	Drainage	2	This Plan.	Land in this Plan .
E-4	Drainage	See diag	This Plan.	Land in this Plan .
E-4	Pipeline or Ancillary Purposes	See diag	This Plan. Sec. 136 of the Water Act 1989.	Central Highlands Region Water Authority .
E-5	Pipeline or Ancillary Purposes	See diag	This Plan. Sec. 136 of the Water Act 1989.	Central Highlands Region Water Authority .
RI	Way, Drainage, Sewerage, Gas, Telephone & Data Transmission .	See diag	This Plan.	Land in this Plan .

LTO use only

Statement of Compliance
/ Exemption Statement

Received



Date 12 / 10 / 99

LTO use only

PLAN REGISTERED
TIME 10.50 AM

DATE 29 / 10 / 99

D. Bull

Assistant Registrar of Titles

Sheet 1 of 2 Sheets

A & J WALSH

Consulting Land Surveyors

32A Vincent Street Daylesford, 3460

Tel. & Fax 03-53483833

LICENSED SURVEYOR (PRINT) JAMES PATRICK WALSH

SIGNATURE

DATE 12 / 11 / 97

REF 344

VERSION 1

DATE 22 / 1 / 98

COUNCIL DELEGATE SIGNATURE

Original sheet size A3

EXISTING SITE PLAN

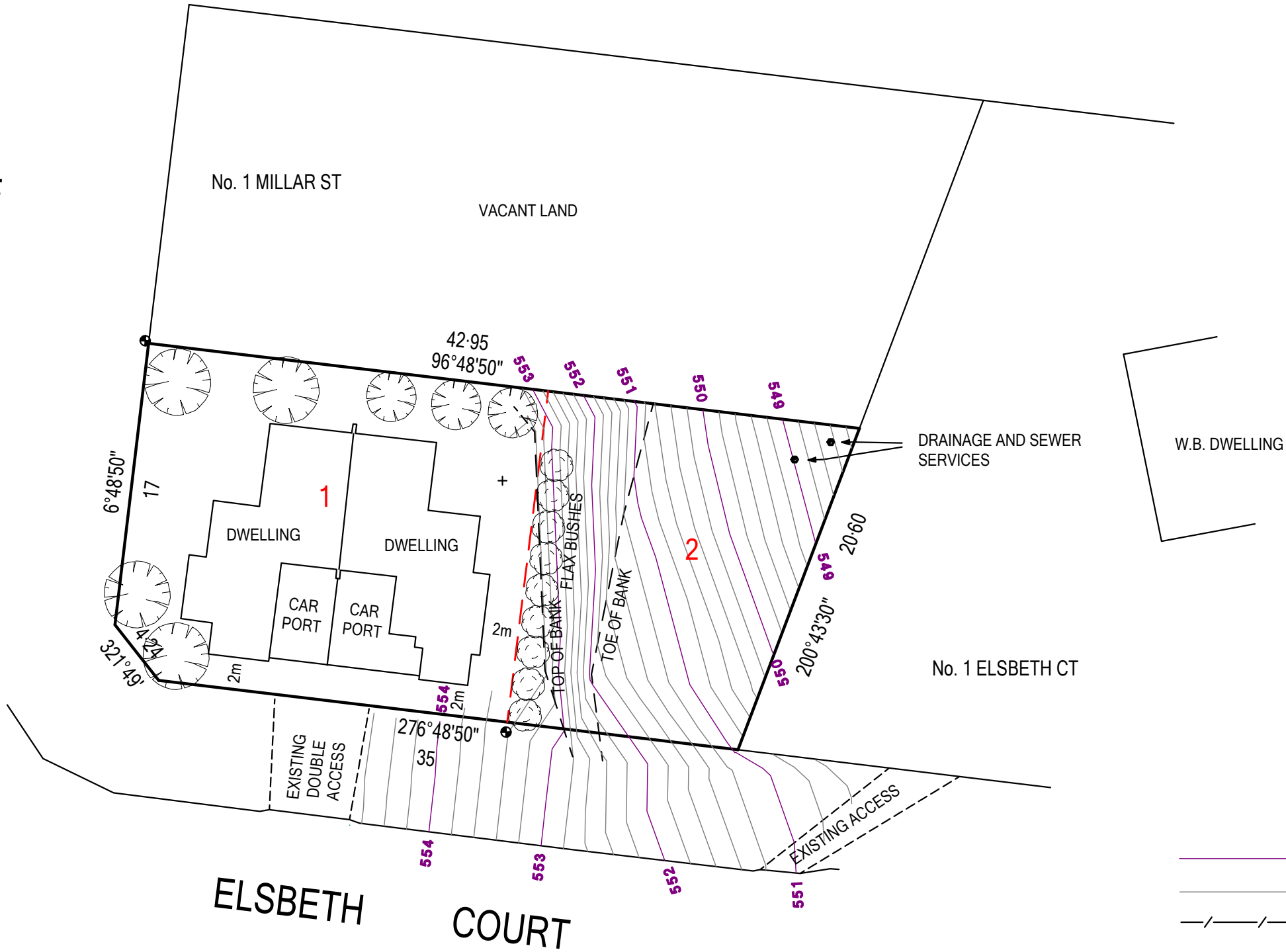
1A ELSBETH COURT, DAYLESFORD
LOT 3 ON PS411720X

M.G.A. 2020 ZONE 55

MILLAR STREET

HOSPITAL STREET

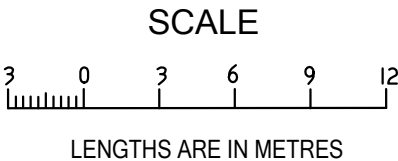
ELSBETH COURT



- LEGEND
- MAJOR CONTOUR (1m INTERVAL)
 - MINOR CONTOUR (0.2m INTERVAL)
 - FENCE
 - ELECTRICITY PIT
 - TREES

WALSH MOBBS
LAND SURVEYORS
PO BOX 77, DAYLESFORD 3460
M 0408 994 985
admin@walshmobbs.com.au
www.walshmobbs.com.au

ORIGINAL
SHEET
SIZE
A3
SCALE
1:300



LICENSED SURVEYOR
REF 3780

ROWAN MOBBS
VERSION I
DRAWN:22/07/2023

PROPOSED PLAN OF SUBDIVISION

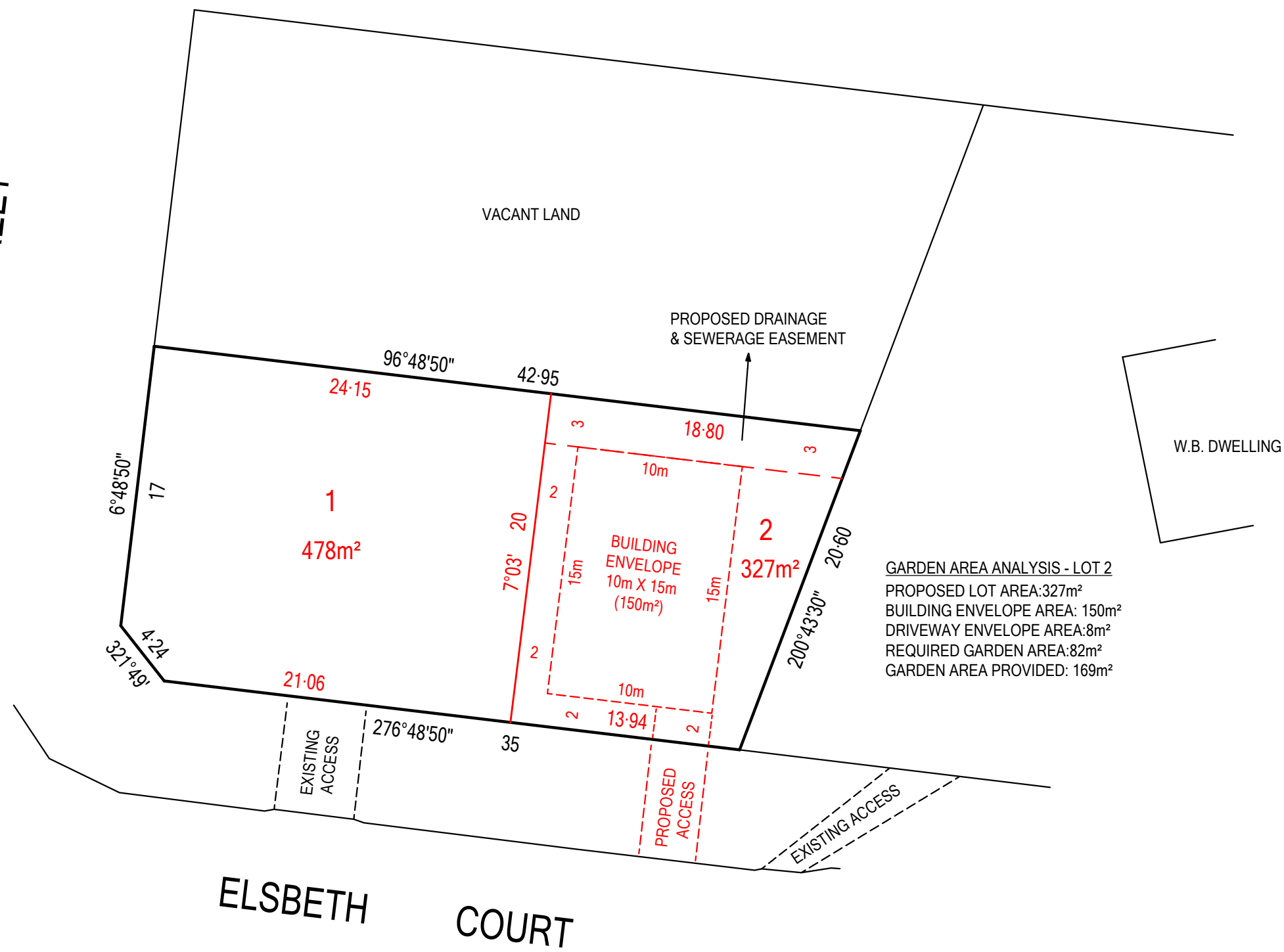
1A ELSBETH COURT, DAYLESFORD

LOT 3 ON PS411720X

M.G.A. 2020 ZONE 55

MILLAR STREET

HOSPITAL STREET



GARDEN AREA ANALYSIS - LOT 2
 PROPOSED LOT AREA: 327m²
 BUILDING ENVELOPE AREA: 150m²
 DRIVEWAY ENVELOPE AREA: 8m²
 REQUIRED GARDEN AREA: 82m²
 GARDEN AREA PROVIDED: 169m²

WALSH MOBBS
LAND SURVEYORS
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 admin@walshmobbs.com.au
 www.walshmobbs.com.au

ORIGINAL
 SHEET SIZE
A3

SCALE
 1:300

SCALE
 3 0 3 6 9 12
 LENGTHS ARE IN METRES

LICENSED SURVEYOR
 REF 3780

ROWAN MOBBS

VERSION I

DRAWN: 22/07/2023

RESCODE SUBMISSION CLAUSE 56

Subject Site: 1A Elsbeth Court, Daylesford

Title Particulars: CT. Vol. 10476 Fol. 556

Proposal: Two (2) Lot Subdivision

Applicant: Walsh Mobbs Land Surveyors



***Site Context Description & Design Response prepared by
Walsh Mobbs Land Surveyors***

Date Prepared: 22 July 2023

The following information is submitted with a planning application as required under Clause 56 of the Hepburn Shire Planning Scheme for Subdivisions.

Neighbourhood Description and Site Context

The subject site is on the corner of Millar Street and Elsbeth Court. The site slopes significantly from west to east. See site contours. Millar street is at the higher level and the court bowl in Elsbeth court being the lowest level.

The site is occupied by 2 townhouses located at the Millar Street end within proposed lot 1. This is a duplex style development. Access for both town houses is from Elsbeth Court.

The vacant lot 2 is proposed is to be accessed from Elsbeth Court. There are no trees on vacant lot 2.

All services are readily available to the site and the land is zoned Neighbourhood Residential 1 under the Hepburn Shire Planning Scheme.

Surrounding land uses are residential and include weatherboard and brick veneer.

Refer to the proposed plan and site photos for lot dimensions and site features.

Design Response

Neighbourhood Character C6

The neighbourhood character is not compromised by this proposal as any proposed dwelling will be in keeping with existing surrounding dwellings and layouts. The proposed subdivision will not affect existing vegetation or site features.

Lot Area and Building Envelopes C8

The sizes of the proposed lots are acceptable for the zoning. The size of lot 2 will enable a dwelling to be appropriately sited and constructed while also providing for solar access, private open space, vehicle access and parking.

Solar Orientation of Lots objective C9

The orientation of the proposed lots will ensure adequate solar orientation and solar access is provided for.

Common Area Objectives C11

No common area proposed for this subdivision.

Lot Access Objective C21

Access to both lots will be from Elsbeth Court.

Drinking Water Supply Objectives C22

Reticulated water supply is readily available to the site.

Reused and Recycled Water Objectives C23

The size of the proposed lots will enable ample space such that proposed dwellings can be constructed with recycled water systems to the satisfaction of the relevant authorities.

Waste Water Management Objective C24

Reticulated sewerage is readily available to the site

Urban Runoff Management Objectives C25

The proposal will have a minimal increase in storm water runoff. The terrain of the property allows natural drainage into the existing stormwater infrastructure.

Site Management C26

No development proposed for this subdivision at this stage. Future development of this site will be managed to minimise environmental effects to the satisfaction of the relevant authorities.

Shared Trenching objectives C27

Shared trenching will be adopted where possible.

Electricity, Telecommunications and Gas Objectives C28

All services are readily available to the site and will be connected to the satisfaction of the relevant authorities.

OVERLAYS

Environmental Significance Overlay (ESO1)

Proclaimed Catchment Protection:

1. To protect the quality of domestic water supplies within the Shire and the broader region.
2. To maintain and where practicable enhance the quality of water within watercourses.
3. To prevent increased runoff or concentration of surface water leading to erosion or siltation of watercourses.
4. To prevent erosion of banks, streambeds adjoining land and siltation of watercourses, drains and other features.
5. To prevent pollution and increased turbidity and nutrient levels of water in natural watercourses, water bodies and storages.

Response:

No effect to water quality will occur during the development of the proposed lots. When the proposed additional lots are to be developed upon, then the requirements of this overlay need to be met.

PHOTOS



View looking east along Elsbeth Court from Millar St. Subject site left of view.



View looking into existing dwellings from Elsbeth Court within proposed lot 1.



View looking into proposed vacant lot 2 from Elsbeth Court.



View from Elsbeth Court into Proposed Lot 2

10.3 PLN22/0401 - 19A CAMP STREET, DAYLESFORD EXECUTIVE MANAGER DEVELOPMENT

In providing this advice to Councillors as the Statutory Planner, I Julie Lancashire have no interests to disclose in this report.

This report will be presented by:

- Shannon Hill, Statutory Planner

ATTACHMENTS

1. Urbis - Landscape plan [10.3.1 - 4 pages]
2. Clement Stone - Town planning report [10.3.2 - 39 pages]
3. 19a Camp Street Daylesford Final HIS [10.3.3 - 73 pages]
4. Applicant response to objections [10.3.4 - 9 pages]
5. Revised car parking layout [10.3.5 - 1 page]
6. Plan Set [10.3.8 - 35 pages]
7. Visual Amenity Document [10.3.9 - 19 pages]

EXECUTIVE SUMMARY

It is proposed to renovate the existing St Andrew's Church for use as group accommodation (two units) and construct two new buildings to its rear to provide an additional ten group accommodation units (12 in total).

The existing church building is to be renovated with two new double-storey apartments to be constructed within the structure. The choir, organ and pulpit areas are to remain 'common areas', as is a new third storey attic. External changes are minimal and are further described below.

A two-storey building is to be constructed in the middle of the site, directly behind the church building. This will accommodate two apartments on each level.

A three-storey building, including ground level garage, is to be constructed at the rear of the site. This will accommodate a 12-space garage at ground level (also referred to as the basement), and three apartments on each of the above two levels.

In accordance with Clause 32.09-2, 'Group Accommodation' is a Section 2 use, and a planning permit is required to use land for this purpose.

In accordance with Clause 32.09-9, a permit is required to construct a building or construct or carry out works for a use in Section 2.

Six objections were received. There is general support for the restoration and development of the church building. However, common concerns raised relate to increased noise, including outdoor terraces, removal of trees, height of buildings, cumulative impact of development, visual impact of development and impact on neighbourhood character.

OFFICER'S RECOMMENDATION

That Council:

- *having caused notice of Planning Application No. PLN22/0409 to be given under Section 52 of the Planning and Environment Act 1987 and /or the Hepburn Planning Scheme; and*
- *having considered all the matters required under Section 60 of the Planning and Environment Act 1987;*

Issues a Notice of Decision to Grant a Planning Permit for the use and development of the site for Group Accommodation and removal of trees within a Heritage Overlay, subject to the following conditions:

- 1) At all times what the permit allows must be carried out in accordance with the requirements of any document approved under this permit to the satisfaction of the responsible authority.*
- 2) Before the development starts, plans must be approved and endorsed by the responsible authority. The plans must:*
 - a. be prepared to the satisfaction of the responsible authority.*
 - b. be drawn to scale with dimensions.*
 - c. submitted in electronic form.*
 - d. be generally in accordance with the plans forming part of the application and prepared by Robin Larsen Design Pty Ltd, Revision B, dated 16 November 2023, but amended to show the following details:*
 - i. To enable the provision of four canopy trees across the site and inclusion of any additional amendments required by Condition 19 and the Landscape Plan.*
 - ii. Areas required for stormwater detention, water quality treatment and any other additional amendments required by Condition 29 and the Stormwater Management Plan.*
 - iii. Implementation of the recommendations of the Sustainability Management Plan (Blue Bee, dated May 17 2023, Section 5 of report.*
 - iv. Retention of Tree 12 and retention or replacement of the Group 2 of trees, as numbered in the Arboricultural and Impact Assessment Report (Treelogic, dated 2 May 2023 (revised)).*
 - v. Revised car parking layout as provided by the applicant 3 November 2023.*
 - vi. Measures to protect and manage the mullock heap and tailings during construction.*
 - vii. Detailed cut and fill plan that includes current and finished surface levels and quantities.*

- 3) *Prior to the development commencing, provide written evidence of compliance with NatHERS requirements to the extent required by the relevant Building Regulations, to the satisfaction of the responsible authority.*
- 4) *The layout of the use and development must not be altered from the layout on the approved and endorsed plans without the written consent of the responsible authority.*
- 5) *Before the use commences, the owner of the land must enter into an agreement with the responsible authority under section 173 of the Planning and Environment Act 1987. The agreement must provide the following:*
 - a. *That the approved development must not be used for a permanent place of residence.*

The owner of the land must pay all of the responsible authority's reasonable legal costs and expenses of this agreement, including preparation, execution and registration on title.

- 6) *The use and development must be managed so that the amenity of the area is not detrimentally affected, through the:*
 - a. *transport of materials, goods or commodities to or from the land.*
 - b. *appearance of any building, works or materials.*
 - c. *emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, wastewater, waste products, grit or oil.*
 - d. *presence of vermin.*

to the satisfaction of the responsible authority.

Operation Management Plan

- 7) *Before the use commences, an operation management plan must be approved and endorsed by the responsible authority. The operation management plan must:*
 - a. *be prepared to the satisfaction of the responsible authority.*
 - b. *be submitted to the responsible authority in electronic form.*
 - c. *include the following details:*
 - i. *Waste management plan:*

The waste management plan must include the following:

1. *anticipated volumes of waste and recycling that will be generated and how they are determined.*
2. *the type and number of waste bins.*
3. *the type and size of trucks required for waste collection.*
4. *a plan detailing adequate areas for waste bin storage and collection for the required type and number of bins.*
5. *frequency of waste collection.*
6. *hours for waste collection.*

- ii. *Delivery hours in accordance with EPA regulations.*
- iii. *General business operation information.*

The responsible authority may consent in writing to vary these requirements.

Amenity

- 8) *Noise generated from the premises, including external speakers and external plants and equipment, must not be unreasonable and must not exceed the provisions of the Environment Protection Regulations 2021, to the satisfaction of the responsible authority.*
- 9) *All security alarms or similar devices installed on the land must be of a silent type in accordance with any current standard published by Standards Australia International Limited and be connected to a security service to the satisfaction of the responsible authority.*
- 10) *All pipes, fixtures, fittings vents, plant and equipment servicing any building on the site (excluding storm water down pipes, guttering and rainheads) must be concealed in service ducts or otherwise hidden from the public realm to the satisfaction of the responsible authority.*
- 11) *All waste and recyclables must be stored in and collected from an area set aside for this purpose. This area must be graded, drained and screened from public view to the satisfaction of the responsible authority.*

Car parking and access

- 12) *Before the development commences, a traffic and parking management plan must be approved and endorsed by the responsible authority. The plan must:*
 - a. *be prepared to the satisfaction of the responsible authority.*
 - b. *be submitted to the responsible authority in electronic form.*
 - c. *be generally in accordance with the Traffic Engineering Assessment (dated November 2022) forming part of the application, but amended to include the revised car parking layout provided by the applicant 3 November 2023.*
 - d. *include a detailed layout plan demonstrating compliance with the design requirements of Clause 52.06 of the Hepburn Planning Scheme.*

The responsible authority may consent in writing to vary any of these requirements.

- 13) *Before the use commences, the area(s) set aside for the parking of vehicles and bicycles, and access lanes as shown on the endorsed plans must be:*
 - a. *constructed.*
 - b. *properly formed to such levels that they can be used in accordance with the plans.*
 - c. *surfaced with an all-weather-seal coat.*
 - d. *drained.*

- e. line marked to indicate each car space and all access lanes.
- f. clearly marked to show the direction of traffic along access lanes and driveways.

to the satisfaction of the responsible authority.

At all times car spaces, access lanes and driveways must be kept available for these purposes.

Once constructed, these areas must be maintained to the satisfaction of the responsible authority.

- 14) *All car parking spaces must be designed to allow all vehicles to drive forwards when entering and leaving the property.*
- 15) *Before the use commences, any new vehicular crossing(s) must be constructed to the satisfaction of the responsible authority.*
- 16) *Access to and egress from the land must only be at the vehicular ingress and egress points shown on the endorsed plans.*

Permanent access to and from the land via Garden Lane is not permitted.

The responsible authority may consent in writing to vary these ingress and egress points or to allow access to Garden Lane for the purposes of construction.

Landscaping

- 17) *Before the development starts, a landscape plan must be approved and endorsed by the responsible authority. The landscape plan must:*
 - a. *be prepared to the satisfaction of the responsible authority.*
 - b. *be prepared by a suitably qualified person.*
 - c. *have plans drawn to scale with dimensions.*
 - d. *be submitted to the responsible authority in electronic form.*
 - e. *include the following:*
 - i. *layout of landscaping and planting within all open areas of the subject land.*
 - ii. *a survey (including botanical names) of all existing vegetation to be retained and/or removed.*
 - iii. *buildings and trees (including botanical names) on neighbouring properties within three metres of the boundary.*
 - iv. *details of surface finishes of pathways and driveways.*
 - v. *a planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant.*
 - vi. *4 canopy trees (minimum two metres tall when planted) that have a minimum height of 8m when mature.*

- vii. *Each canopy tree must be provided with an area of 4.5m by 4.5m.*
- viii. *details of how the project responds to water sensitive urban design principles, including how storm water will be mitigated, captured, cleaned and stored for onsite use and the location and type of irrigation systems to be used including the location of any rainwater tanks to be used for irrigation.*
- ix. *Retention of Tree 12 and Group 2 trees.*
- x. *Details of access to church from Camp Street that includes the retention of the sandstone front wall and soft planting and is supplemented with additional planting of appropriate species.*
- xi. *The implementation of all tree management requirements as specified in the Treelogic Impact Assessment Report (revised) dated 2 May 2023.*
- xii. *Removal of any landscaping shown on the mullock heap.*
- xiii. *Locations of external lighting, including landscaping and feature lighting. All lighting must be designed, baffled and located so as to prevent any adverse effect on adjoining land to the satisfaction of the responsible authority.*

The responsible authority may consent in writing to vary any of these requirements.

18) Before the use starts, the landscaping shown on the approved landscape plan must be carried out and completed to the satisfaction of the responsible authority.

The responsible authority may consent in writing to vary this requirement.

19) Before the development commences, a landscape management plan must be prepared by a suitably qualified person and be endorsed by the responsible authority.

It must demonstrate:

- a. Measures to protect vegetation to be retained.*
- b. How any dead, diseased or damaged plants will be replaced.*
- c. That the landscaping shown on the approved landscape plan will be maintained to the satisfaction of the responsible authority.*
- d. The implementation of all tree management requirements as specified in the Treelogic Impact Assessment Report (revised) dated 2 May 2023.*
- e. Any pruning that is required to be done to the canopy or root system of any tree to be retained. Any pruning must:*

- i. be done by a qualified arborist to Australian Standard – Pruning of Amenity Trees AS4373-1996, to the satisfaction of the responsible authority.*
- ii. be done by hand by a qualified arborist, to the satisfaction of the responsible authority.*
- f. Any measures required by Condition 24.*
- g. The regular site monitoring by a qualified arborist during construction.*

Tree Protection

20) Before the development starts, a tree protection fence must be erected around the vegetation to be retained to define a 'Tree Protection Zone'.

The tree protection fencing, and Tree Protection Zone must be established and maintained in accordance with the following requirements to the satisfaction of the responsible authority:

- a. the tree protection fence must be constructed of suitable material.*
- b. the tree protection fence must remain in place until the development is completed.*
- c. the Tree Protection Zone must be covered by a 100 mm deep layer of mulch and watered regularly.*

The responsible authority may consent in writing to vary any of these requirements.

21) During the course of construction, other than areas identified for construction, all other areas within the Tree Protection Zone must not be used for:

- a. vehicular or pedestrian access*
- b. trenching or soil excavation*
- c. storage or dumping of materials, tools, equipment or waste.*

The responsible authority may consent in writing to vary any of these requirements.

22) During the course of construction, and in addition to the requirements of the Arboricultural and Impact Assessment Report (Treeologic, dated 2 May 2023 (revised)), the following additional tree protection controls are required to be implemented to the satisfaction of the responsible authority:

- a. Installation of weight distribution boarding over the Tree Protection Zones as located within the site of Tree 8 and Tree 13.*
- b. Regular monitoring of the Tree Protection Zones as located within the site of Tree 8 and Tree 13. This must be completed by a qualified arborist regularly through the construction period.*

Conservation Management Plan

23) *Before the development (including demolition) starts, a conservation management plan must be approved and endorsed by the responsible authority. The conservation management plan must:*

- a. be prepared to the satisfaction of the responsible authority.*
- b. identify the buildings and works to be conserved and replaced.*
- c. include recognition of Mrs Jessie Leggatt within the common area of the church.*

The works detailed in the approved conservation management plan must be completed by the commencement of the use, to the satisfaction of the responsible authority.

Environmental Management Plan

24) *Before the development or any site works (including demolition and excavation) start, an environmental management plan must be approved and endorsed by the responsible authority. The environmental management plan must:*

- a. be prepared to the satisfaction of the responsible authority.*
- b. be submitted in electronic form.*
- c. address the findings of the AGS Environmental Service report dated September 28, 2023.*

The responsible authority may consent in writing to vary any details in the environmental management plan.

Construction Management Plan

25) *Before the development or any site works (including demolition and excavation) start, a construction management plan must be approved and endorsed by the responsible authority. The construction management plan must:*

- a. be prepared to the satisfaction of the responsible authority.*
- b. be submitted in electronic form.*
- c. address the following risks:*
 - i. noise and vibration.*
 - ii. erosion, sediment and dust.*
 - iii. contaminated land and groundwater.*
 - iv. chemicals.*
 - v. waste.*
 - vi. protection of the mullock heap.*
- d. the working hours schedule for construction, building and demolition noise.*
- e. include a traffic management plan showing:*
 - i. access routes for construction vehicles.*

- ii. *swept path analysis demonstrating the ability for trucks to enter and exit the site in a safe manner for the largest anticipated truck associated with the construction.*
- iii. *proposed parking locations for construction vehicles and construction workers' vehicles.*
- iv. *any impacts upon adjacent roads and pedestrian walkways and provision for adequate movement and circulation of vehicles and pedestrians adjacent to the land during the construction phase.*
- v. *no access via Garden Lane other than for during construction.*

The responsible authority may consent in writing to vary any details in the environmental management plan.

Stormwater Management

26) Before the development starts, a stormwater management plan must be approved and endorsed by the responsible authority. The stormwater management plan must:

- a. be prepared to the satisfaction of the responsible authority.*
- b. be submitted in electronic form.*
- c. include details of the proposed stormwater management system, including drainage works and retention, detention and discharges, and water quality treatment of stormwater to the drainage system.*
- d. set out how the stormwater management system will be managed on an ongoing basis.*
- e. demonstrate how all relevant standards set out in the planning scheme relating to stormwater management will meet the objectives in the planning scheme, including modelling and calculations and water quality as stated in the BPEM (Best Practice Environmental Management) Guidelines*

Note: Additional information for requirements can be found at <https://www.epa.vic.gov.au/business-and-industry/guidelines/water-guidance/urban-stormwater-bpemg>.

- f. provide for a detention system with a return period of 5% AEP where there is overland escape path and 1% AEP if the failure of the detention system will cause property damage or inundation of freehold titles.*
- g. demonstrate how adverse impacts on the existing church building, neighbouring properties and the surrounding road network are avoided.*

27) The stormwater management system approved by the responsible authority and included in the endorsed stormwater management plan must be constructed, managed and maintained to the satisfaction of the responsible authority.

The details of the stormwater management system must not be altered from the details in the endorsed stormwater management plan without the written consent of the responsible authority.

28) Before the development starts, professionally prepared plans and calculations for the construction of all underground and/or surface drainage works must be provided to and approved by the responsible authority. All drainage construction shall be carried out in accordance with the approved plans.

29) Polluted and/or sediment laden run-off must not be discharged directly or indirectly into drains or watercourses.

30) All stormwater discharged from the subject land shall be connected to the legal point of discharge to the satisfaction of the responsible authority. No concentrated stormwater shall drain or discharge from the land to adjoining properties.

Permit Expiry

31) This permit will expire if one of the following circumstances applies:

- a. The development is not started within 2 years of the issued date of this permit.*
- b. The development is not completed within 4 years of the issued date of this permit.*
- c. The use does not start within 2 years of completion of the development.*

In accordance with Section 69 of the Planning and Environment Act 1987, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

BACKGROUND

Site and Surrounds

Plan A01 in the Plan Set (refer to Attachment 1.1.1) provides a good overview of the site and existing conditions. The site has a 30m frontage to Camp Street and partially adjoins an unmade government road to the rear (Garden Lane). It is occupied by the existing church building, the former St Andrew's Presbyterian Church. Refer to Figure 1.



Figure 1 - Subject Site (December 2022, NearMap)

The site has an area of approximately 2347sqm with its rear boundary being elevated 12m above the front property boundary. Existing vegetation is now contained to the site perimeter, and primarily the southern property boundary.

Access to the site is via an existing crossover and driveway to Camp Street. An internal concrete path and steps provides access to the church building. Several retaining walls extend around the church building itself. The remainder of the site is generally clear.

Easements run along both the southern and northern property boundaries. These are shown on the plans.

The application is supported by a number of site assessments which provide additional useful site information. These are discussed, as relevant, below.

Tree Logic Arboricultural and Impact Assessment Report (dated 2 May 2023)
(Attachment 1.1.2)

Preliminary Site Investigation (AGS Environmental Services, dated 28 September 2023) (Attachment 1.1.4)

Heritage Impact Statement (Lovell Chen, dated December 2022) (Attachment 1.1.10)

Cultural Heritage Management Plan (WestVic, March 2022a) (Attachment 1.1.11)

The CHMP was approved by the Dja Dja Wurrung on 12 May 2022.

Traffic Engineering Assessment (Traffix Group, November 2022) (Attachment 1.1.12)

Site Surrounds

Refer to Figure 3 overleaf.

Located on Camp St, the site is just two blocks east of Vincent Street and the Daylesford Town Centre. Wombat Hill is located a similar distance to the east of the site. The area effectively forms the western slopes of Wombat Hill. To this end the eastern side of Camp Street is significantly higher than the western.

The development pattern can be described as almost low density in nature, particularly given the proximity to Vincent Street and community services and infrastructure. There are a number of historically larger lots in the area, and these are associated with local prominent buildings such as The Manse at 19 Camp St (direct north), the Daylesford Neighbourhood Centre and the adjacent police station, and St Peter's Catholic church. The immediate properties are generally well established and vegetated.

Immediately adjacent properties include:

- 19 Camp Street (adjoining to north) – The Manse, previously associated with the subject site, now a separate subdivided lot. The building on this property is set approximately 5m north of the common boundary. Significant vegetation on both properties provides effective screening between the two.
- 21 Camp Street (adjoining to south) – separate established dwelling set approximately 4m south of the common boundary. Established vegetation on both properties provides screening between the two, including the Walnut tree.
- 57 Central Springs Road (adjoining to south) – large property and garden with dwelling located close to Central Springs Road approximately 43m south of the common boundary. Large established trees and vegetation on this site and the subject site contribute to screening between the two properties.
- 55 Central Springs Road (adjoining to south, east and north) – large landholding with dwelling fronting Central Springs Road approximately 20m south of the common boundary. Extensive garden across the property. Portion of property to north of Garden Lane is generally cleared but also forms part of the mullock heap site that is partially located on the subject site.
- 22 Camp Street (west side of Camp Street) – St Peter's Catholic church. Pedestrian access only from Camp Street.
- 20 Camp Street (west side of Camp Street) – single dwelling setback approximately 6m from its eastern property boundary.



Figure 3 - Site and surrounds (December 2022, NearMap)

Proposal

Refer to the Plan Set at Attachment 1.1.1.

It is proposed to renovate the existing St Andrew's Church for use as group accommodation (two units) and construct two new buildings to its rear to provide an additional ten group accommodation units (12 in total).

Total site coverage at ground level is estimated at 37%, with a total garden area of 53% and total permeable area of 47%. Access to the site will be via the existing crossover to Camp Street.

The existing church building is to be renovated with two new double-storey apartments to be constructed within the structure. The choir, organ and pulpit areas are to remain 'common areas', as is a new third storey attic. External changes are minimal and are further described below.

A two-storey building is to be constructed in the middle of the site, directly behind the church building. This will accommodate two apartments on each level.

A three-storey building, including ground level garage, is to be constructed at the rear of the site. This will accommodate a 12-space garage at ground level (also referred to as the basement), and three apartments on each of the above two levels.

Each new building is discussed further below.

Use of land for 'Group Accommodation'

The application seeks to use the land for 'Group Accommodation', comprising 12 units in total to accommodate persons for short term purposes. The Hepburn Planning Scheme defines 'group accommodation' as '*Land, in one ownership, containing a number of dwellings used to accommodate persons away from their normal place of residence*'.

Legal advice was provided by the applicant with respect to characterisation of the use. To summarise, each of the apartments constitute a dwelling as they contain a kitchen sink and a bench that can be used for food preparation facilities. This advice was further supported by VCAT decisions.

Buildings and Works

Existing Church building – works and proposed demolition

Plans A02 and A03 identify the following external works to the existing church building:

1. Nine internal locations where the existing floorboards are to be cut, removed, labelled and replaced upon completion of concrete footings that will support the self-supporting internal structure to be constructed. Each area measures 1.5m x 1.5m.
2. Demolition of part of the north facing wall to the rear of the church (labelled as 'general use' area and is not part of the primary church structure) for a new door.
3. Four areas on the north facing roof to be removed to allow for installation of new skylights and associated solar tubes.
4. In some locations such as the base of the tower, the timber floors are in poor state or the timbers are missing, these will be repaired where necessary with matching materials.
5. Replacement of louvres in church tower.

Plans A05, A06 and A07 (more detailed plans are also included at A13, A14 and A15) shows the following proposed internal works to the existing church building:

6. Development of two 1-bedroom apartments (both double storey):
 - a. Bedroom and bathroom on the ground floor
 - b. Kitchen, living and dining areas on first floor
 - c. Common area attic on second floor able to be jointly accessed from either apartment.
7. Each apartment will be approximately 111sqm in area.
8. Installation of new spiral staircases to provide access to the apartments and the church tower.
9. Creation of two void areas, one at the front, the other at the rear and including the pulpit, choir and organ areas. The new entry space to the

rear apartment does not impinge upon the existing pulpit and choir area with all joinery including balustrades, organ elements, choir areas and communion rail to be retained. It is understood these will be common areas.

10. Installation of new internal walls to be supported by a new floor structure and not supported by the existing walls or roof elements.
11. Construction of a new external deck as a common area with an area of 24.6sqm with a partial awning on the north side of the church to be accessed via the new proposed door noted at #2 above.
12. All doors and windows are to be retained or reinstated in original state.

Middle Building – all new construction (Building 1)

A new two storey building is to be constructed to the rear of the church building in roughly the middle of the site. This building will comprise four 1-bedroom single storey apartments, two at each level.

Plans A05, A06 and A07 (with Plan A27 providing additional detail) provide the relevant detail. Of note:

1. Per Plan A04 this area will be both cut and filled. The levels provided on Plan A01 and A05 suggest the cut and fill will be minimal for this area/building.
2. Each apartment comprises a bedroom, bathroom and living space and will have an approximate area of 60sqm and paved terraces between 18 and 30sqm. No kitchen areas are specifically noted on the plans though it is understood limited facilities will be provided (e.g. microwave, kettle) as discussed in the Harwood Andrews correspondence previously discussed.
3. Each apartment also includes either a paved terrace for the ground floor apartments or a balcony for the first-floor apartments. These all face north.
4. The ground floor apartments are noted as accessible. They are accessible from the garage only with stairs otherwise required.
5. The building is setback a minimum 3.3m from the adjacent church building, and approximately 10m from each of the side boundaries. It is separated by approximate 1.7m from the rear building.

A new building is to be constructed at the rear of the site, setback a minimum of 1.4m from the northern boundary, 8.1m from the rear boundary, and 3m from the southern boundary (adjacent to the existing easement). This building will comprise a ground level garage and two upper levels with apartments (effectively three storeys in total though due to the site slope the garage will ultimately be exposed on its western facade).

Plans A05, A06 and A07 (with Plans A29 and A30 providing additional detail) provide the relevant detail. Of note:

1. The garage will accommodate 12 vehicles. It has a floor area of approximately 453sqm.
2. No lift is proposed with all building access via internal garage stairs.
3. The basement garage has a finished floor level of 610.65AHD. The current levels in this location, per Plan A01 are approximately 614AHD, meaning a significant site cut is required to achieve the finished floor level desired.
4. Three apartments are proposed on the first floor with a north-south orientation. Each apartment comprises a bedroom, bathroom and living space. No kitchen areas are noted as previously discussed. Front courtyards with outdoor spa are provided together with front and rear paved terraces for each apartment. Each has an approximate floor area of 60sqm. Whilst the area of the outdoor spaces is different for each apartment, they range between 50sqm to 22sqm.
5. The finished floor levels for the first floor are 614.7AHD, near to what the existing site levels at this location are (albeit noting it is the first floor, not the ground floor).
6. External storage is also provided on the first floor.
7. Three apartments are provided on the second floor with an east-west orientation. Their layout is the same as the first-floor apartments. Access is provided via stairs from the east, also via the garage. Each has a front terrace with outdoor spa (east facing) and rear balcony (west facing).
8. The finished floor levels for the second floor are 617.7AHD. There are no levels provided for the roof.

Elevations and Sections

The proposed site elevations are included at Plan A09 together with proposed colour palette. Additional viewpoints are provided at Plan A11, and a streetscape montage provided at Plan A12.

Existing Church building – works and proposed demolition

- External works to the existing church building are primarily contained to its northern elevation in the form of a new door and skylights.
- New louvres are proposed for the tower together with minor maintenance type works.

Middle Building – all new construction (Building 1)

Additional Elevations of this building are provided at Plan A28. They show:

- A mixture of timber cladding (with natural finish) and brick work (hawthorn black).

- Use of generally muted colours including pale eucalypt Colourbond roofing and woodland grey finishing.
- Modern style construction with sloped roof form and relatively extensive outdoor areas.
- Show a maximum building height of 7.78m from the finished floor level (at 610.65 AHD) to the roof peak (at 618.44 AHD).
- Whilst to be constructed of different materials, a section of the western elevation will be constructed on top of the proposed retaining wall, creating a wall of 7.9m high for approximately 4.7m. This is behind the church building.
- Generously sized windows meaning there is limited 'blank' wall. The windows on the eastern elevation, however, directly face the internal garage wall with a setback of 1.69m. This area is to be landscaped.
- The streetscape montages provided with the application show this building will have limited visibility from the street as it sits directly behind the church building.

Rear Building – all new construction (Building 2)

Additional elevations of this building are provided at Plan A31. They show:

- Generally, the same materials and building style as Building 1. Charred timber cladding is used extensively at the ground level, cladding the garage.
- The wall heights on the western elevation extend to approximately 10.5m for an approximately 16m length. This is broken up by using two materials and the open balconies of the second level apartments.
- As it forms the garage entry, part of this wall is visible from the street. This section of the wall is approximately 5.5m tall as it includes the walls to the apartment courtyards above.
- The maximum building height appears to be approximately 10.2m on the northern elevation (finished floor level of garage to peak of roof). Once completed, however, landscaping will reduce the visible building height to approximately 5.7m as the garage level is embedded into the site.
- Multi-layered southern and eastern elevations as the first and second levels reduce in floor area and the orientation of the apartment's changes. The structure is effectively a box with articulation provided via veranda type structures at the southern and northern elevations. This provides a maximum wall height on the southern elevation of approximately 7.5m from the finished floor level of one of the apartments to the 'box' parapet.

Removal of Vegetation

It is proposed to remove one single tree (Tree #12 per Arborist Assessment) to the front of the church building, and a group of trees (G2 per Arborist Assessment) at the rear of the site.

Landscaping

Urbis have prepared a Landscape Plan for the site including a Concept Plan, Planning Palette, Plant Schedule, and Typical Details.

Relevant Planning Ordinance applying to the site and proposal

Zoning:	Neighbourhood Residential Zone (Schedule 1)	
Overlays:	Heritage Overlay (Schedule 280)	
	Environmental Significance Overlay (Schedules 1 and 2)	
Particular Provisions	Nil	
Relevant Provisions of the PPF	Clause 11.01-1L Townships and settlements Clause 15.01-1L Urban design Clause 15.01-2L Environmentally sustainable design Clause 15.01-5L-01 Neighbourhood character in Daylesford Clause 15.03-1L Heritage	
Under what clause(s) is a permit required?	Clause 32.09-2	Use of land for Group Accommodation
	Clause 32.09-9	Buildings and works for Group Accommodation
	Clause 42.01-2	<ul style="list-style-type: none">• Site cut greater than 1m (ESO1).• Site cut with an area more than 300sqm (ESO1).• Removal of vegetation (ESO2).
	Clause 43.01-1	<ul style="list-style-type: none">• Construct a building or construct or carry out works.• Externally alter a building by structural work, rendering, sandblasting or in any other way.• Internally alter a building [as specified in the schedule].• Remove, destroy or lop a tree [as specified in the schedule].

Objections?	Six
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Site Planning History

Planning permits have previously been sought and issued for similar type developments of the site and church building over the years, including one 2003/4 and one in 2006.

The 2004 application was refused by Council with the decision affirmed by VCAT.

Planning Permit 2006/9058 was issued by Council in January 2007, following consideration at its 19 December 2006 meeting.

The planning controls have not dramatically changed since the consideration of either application.

PLANNING POLICY

Municipal Planning Strategy

Clause 02.03-5 identifies the Shire's built, natural and cultural heritage as fundamental to its sense of identity and seeks to preserve and protect these assets.

Clause 02.03-7 identifies the positive economic benefits tourism has in the Shire to other business activities and infrastructure, and that tourism is a major driver of the accommodation, café, restaurant and retail sectors.

Planning Policy Framework

Clause 11.01-1L applies to all land within townships, including Daylesford. It seeks to provide for urban development and economic growth in Daylesford based on the township map.

The Daylesford Township Map locates the site within the 'historic town core', west of Wombat Hill and east of the town centre.

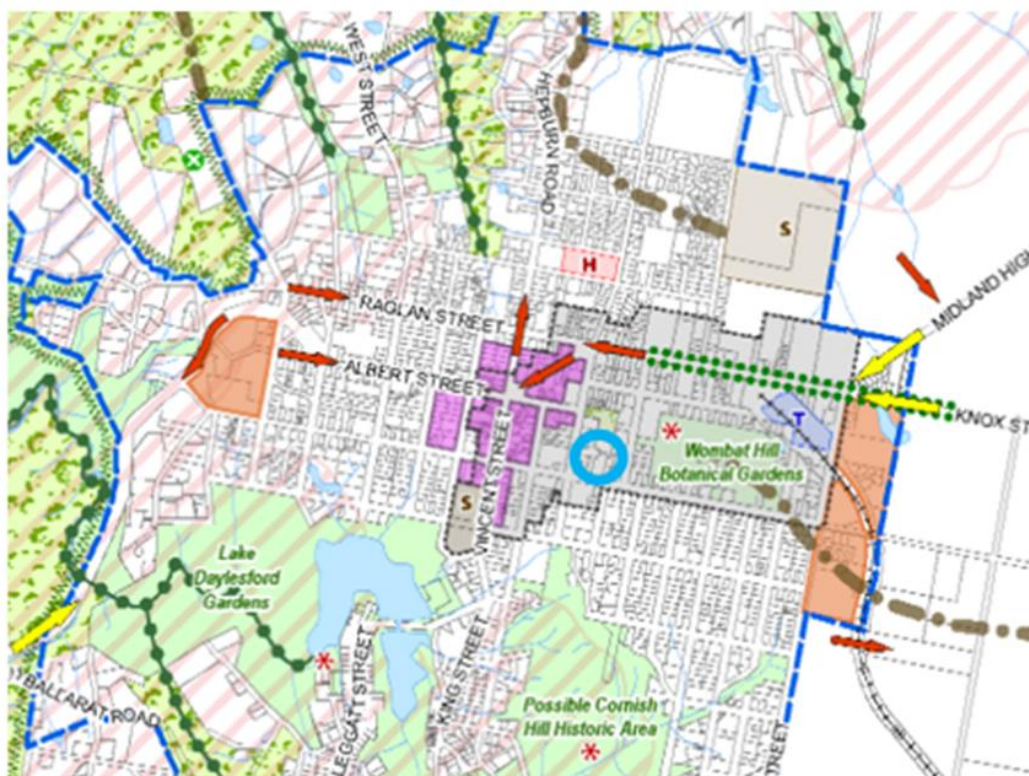


Figure 4 - Daylesford Township Map

Clause 15.01-1L applies to all land within Daylesford. It seeks to:

- Ensure development respects the low scale, vegetated and natural and rural character of townships.
- Ensure that development respects and enhances notable features and landmarks of townships such as building form, volume, low scale height, setbacks, spacing, streetscapes, tree lined streets, intact heritage places and existing vegetation.
- Incorporate landscaping in front setbacks to soften the address to the street.

Clause 15.01-2SL applies to residential and non-residential development. A Sustainability Management Plan is required for ten or more dwellings, or for a building used for accommodation other than dwellings with a value over \$2 million. The policy seeks to achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Clause 15.01-5L-01 applies to land in Daylesford in the NRZ and seeks to achieve the identified preferred character in residential areas in Daylesford. Daylesford-wide strategies include:

- Protect and enhance vistas, views and landmarks such as Wombat Hill, Cornish Hill, residential areas interfacing with the Vincent Street commercial area, and the churches and other spires.

- Ensure that vehicle access and parking does not compromise the character and amenity of residential areas.
- Encourage the retention and planting of vegetation.
- Design development to provide for streetscapes and private gardens that respect the underlying neighbourhood landscape character.

The site is located within Character Precinct 14 which has as its objective to ensure development maintains and enhances the historic qualities of the area and the garden settings of the dwellings. Precinct 14 strategies include contributing to the preferred neighbourhood character by encouraging, as relevant:

- New buildings that respect the existing building forms, including roof profile, of the identified historic buildings.
- Building footings located outside vegetation root zones to enable space for the planting of substantial vegetation.
- Buildings designed to follow the contours of the site or step down the site.
- Buildings that conform to the predominant building heights in the area.
- Use of timber or other non-masonry materials and non-reflective corrugated iron roofing materials, particularly in streets where weatherboard predominates or materials and finishes with natural or earth-toned colours.
- The landscaping of gardens including substantial trees and shrubs.
- Retention of large, established indigenous trees and understorey and provision of new trees where possible.
- Retention of existing vegetation, especially on steeply sloping sites.

Clause 15.03-2L applies to all land within a Heritage Overlay. It seeks to:

- Ensure new development is consistent with and interprets the significance of heritage places.
- Design development to respect elements of the heritage place and surrounds including buildings, associated trees, garden settings, plantings, agricultural features within a landscape, and archaeological sites.
- Promote building design that clearly and positively supports the heritage significance and distinguishes old from new construction through responsive siting, scale, massing, materials and detailing.
- Encourage access to parking from the rear of heritage buildings and heritage commercial areas.
- Encourage garages, carports and on-site car parking to be located behind the principal façade, at the rear or in the side setback of a building.
- Retain and conserve all heritage places of significance.

- Encourage the retention of interiors and decorative finishes where they contribute to the significance of the heritage place.
- Encourage the retention of the internal layout and detailing of an existing building and the significance of these elements to the heritage place.
- Conserve important gardens including culturally significant vegetation, trees and plantings, gardens, features and structures.

Neighbourhood Residential Zone, Schedule 1

The site is located within the NRZ1. The purposes of this zone are to:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To recognise areas of predominantly single and double storey residential development.
- To manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Schedule 1 to the NRZ applies to Daylesford Neighbourhood Residential Precincts. It seeks to ensure development achieves the identified preferred neighbourhood character for Daylesford. Additional decision guidelines include:

- Whether the design, height, setback, appearance and interface of the proposed buildings and works is appropriate within the streetscape and to any heritage place on the land or adjacent land.
- Whether the proposed landscaping enhances the existing landscape character and vegetation in the precinct.
- Whether the significant elements of the precinct are retained including those elements that contribute to its setting.

Heritage Overlay, Schedule 280

The site is located within the individual HO280. Relevant purposes of this overlay are:

- To conserve and enhance heritage places of natural or cultural significance.
- To conserve and enhance those elements which contribute to the significance of heritage places.
- To ensure that development does not adversely affect the significance of heritage places.

As relevant to this application, in accordance with Clause 43.01-1, a permit is required to:

- Construct a building or construct or carry out works.
- Externally alter a building by structural work, rendering, sandblasting or in any other way.
- Internally alter a building [as specified in the schedule].
- Remove, destroy or lop a tree [as specified in the schedule].



Figure 5 - Heritage Overlays

Environmental Significance Overlay, Schedules 1 and 2

The site is located within both the ESO1 and ESO2. A permit is required for the buildings and works under both overlays in accordance with Clause 42.01-2. The development does not meet the exemptions provided under the ESO1 as it includes a site cut greater than 1m and a site cut with an area more than 300sqm. A permit is likely also required to remove vegetation under the ESO2 as it does not meet any of the listed exemptions.

KEY ISSUES

The application and accompanying material are generally considered comprehensive. It is considered the key planning issues distil to the following:

- NRZ1 and policy considerations.
- Consideration of HO issues.
- Response to neighbourhood character.
- Other issues (e.g. site contamination, sustainability).

Some of these issues clearly overlap, but each is discussed in this following section.

NRZ1 and policy considerations

The NRZ1 is a residential zone. Per Planning Practice Note 91, *“it is to be applied to areas where there is no anticipated change to the predominantly single and double storey character. Also, to areas that have been identified as having specific neighbourhood, heritage, environmental or landscape character values, that*

distinguish the land from other parts of the municipality or surrounding area". The application of the NRZ1 to this area, therefore, seems appropriate.

The NRZ is the only 'standard' residential zone applied to land in Daylesford. The Low-Density Residential Zone (LDRZ) is applied to areas on the town fringe, and commercial areas are included in the Commercial 1 Zone (C1Z). The C1Z in Daylesford is really contained to the Vincent/Albert/Bridport Street area and is highly developed with little vacant land. The emphasis for its development of course should be related to commercial uses.

Land immediately adjacent to the C1Z area is included in the NRZ1. There is no 'in-between' zone to perhaps accommodate uses that are not wholly residential or commercial in nature, uses that are perhaps typically more tourist or visitor focused. Planning policy strongly supports tourism uses in the Shire and Daylesford in particular. There becomes somewhat of a dichotomy, therefore, for applications such as the one here which perhaps non-residential uses should not be located within residential areas. Interestingly, Council's Affordable Housing Strategy notes this as well, stating *"The challenge is to ensure there is sufficient housing for residents while also ensuring options for visitor accommodation. Both are required to support the local Hepburn Shire economy and the services that flow from that"*.

Of course, the site itself and the surrounding area aren't singularly residential anyway. The site itself is a former church, as is the site across Camp Street. More tourism focused uses within the NRZ are dotted throughout Daylesford. They are common and, in all likelihood, co-exist well within their residential environment. To this end, the NRZ and NRZ1 decision guidelines become critical considerations.

Consideration of HO issues

Heritage Impact Statement (Lovell Chen, December 2022)

This report includes earlier discussion from the HIS with regards to the site's history and heritage listings. With regards to the application itself, it makes the following comments and observations, inter alia:

In relation to the church building:

- The proposal will retain the church as it presents to Camp Street.
- External alterations to the church are minor and confined to the northern elevation where the church is built close to the boundary and is partially concealed within the streetscape by the proximity of The Manse and adjacent boundary vegetation.
- The external alternations are generally repairs and will have a positive heritage outcome.
- Skylights and solar tubes are necessary to provide natural light internally in a way which avoids any intervention into the leadlight

windows or removal of brickwork. They will present as discreet insertions on the northern roof only.

- The 1904 church building will continue to be externally understood as a former church, and the internal changes and rear development will not impact upon its ability to be interpreted as such.
- The new apartments inside the church are self-supported and independent from the external fabric of the building. This reduces the level of intervention and impact on the church fabric as best possible.
- Common areas at the east and west ends of the church, together with the attic common level will allow occupants to experience the timber roof framing up close.
- The timber joinery of the pulpit and choir stalls and the organ will be retained as significant internal features which can be appreciated by users of the building and interpreted in their original location.

In relation to the middle and rear buildings:

- The buildings are responsive to the significance of the church in siting, scale, massing, materials and detailing. They have been designed to follow the sloping topography and recede into the landscape in order to maintain the prominence of the church.
- While the additions will be visible behind the church due to the rising topography, they will present as a neutral, secondary backdrop to the prominent church.
- The consolidated approach locates the bulk and mass of the development directly behind the church to provide some concealment of the new form.
- The setback of the middle building at 3.3m from the rear of the church retains an appropriate curtilage around the church building and maintains its landscaped setting.
- The maximum building heights are both set below the peak of the church's raked parapet, ensuring the church maintains its visual prominence on the site and minimises the visibility of the new buildings.

In relation to site landscaping:

- The existing soft landscaping in the front setback of the church will be retained.
- [The HIS references an earlier version of the TreeLogic report which at that time proposed removal of all vegetation from the site. It assessed the majority of trees as having a moderate or less arborist rating that should not constrain reasonable development. These are different

recommendations to that of the TreeLogic report submitted with the application].

- All carparking is to be provided to the rear of the site and will have limited visibility behind the church.

Council sought independent heritage advice from expert heritage consultant Ray Tonkin, well renowned within the heritage and planning fields. The brief provided included reviewing the proposal and associated documents, completing a site inspection, and providing a memo of advice in relation to the Heritage Overlay and heritage policies of the Hepburn Planning Scheme. The following comments were provided by Ray Tonkin for consideration:

- The Conservation Management Plan was prepared by Lovell Chen in 2006, which included a new Statement of Significance. This Statement of Significance has not statutory role in terms of the Hepburn Planning Scheme.
- The extent of demolition proposed is minor and essentially relates to some minor elements of the interior.
- There is no reason to expect that the proposed site cut and fill works will have a detrimental impact on the existing church building or the retaining walls.
- Per Lovell Chen's Heritage Impact Statement, the mullock heap is a small remnant from gold mining days with the majority sitting on adjacent properties. Given this, the removal as proposed can be accepted.
- The applicant should provide engineering advice that the cut and fill works will not have a detrimental impact on the drainage of the site, particularly around the church building.
- The most significant aspect of the landscape are the retaining walls between Camp Street and the church building with soft planting on the embankment. It is preferred that the tree proposed to be removed (Tree #12) is retained.
- The plantings on the southern boundary which the HIS notes will not survive the earthworks required to construct the driveway are of no particular significance.
- The plans to reconfigure the access (steps and ramps) to the front of the church building require further detail. The location is not that important (they are later additions) but the sandstone front wall and the soft planting to the Camp Street embankments need to be retained and replanted with appropriate species.
- The proposal to insert two apartments and insert skylights into the church building do not have a detrimental impact on its significance.

The removed sections of the church floor will not detract from an understanding of the original floor form. The new door to the vestry and adjacent independent deck are also not detrimental to the building's significance.

- It is unclear how the foyer area, the narthex (with the organ) and the roof space will operate as communal spaces, and how they will be used, maintained and conserved into the future. The new apartments will not directly relate to the original interior and these spaces will need to be sought out to understand the interior of the church. Ideally the roof trusses, walls and possibly the eastern end of the interior would be incorporated into the apartments so they can be viewed and understood. Alternatively, a larger space could be retained at the eastern end, and it be made available as a public space.
- The proposed conservation works are seen as appropriate and in accordance with the CMP. The proposal retains and restores the building's features and puts a halt to its long-term vandalism and deterioration.
- The new apartment construction can be supported. Whilst a distinctly modern design it will be visible from the south-west, but it will appear as a new structure behind the church building. The two new buildings are appropriately setback from the church building and provide greater separation to it than the new demolished Sunday School building.
- The proposed materials are appropriate and should minimise the impact on the visibility of the new build.
- Recommendations are:
 1. That the proposal largely addresses and meets the heritage policies in the Hepburn Planning Scheme and on that basis a permit could be issued.
 2. The applicant should provide engineering advice to confirm that the site works will not result in drainage issues for the church building.
 3. The details of the proposed changes to the front access and landscaping should be provided.
 4. The tree to the north-west of the building should be retained unless it can be shown to be dangerous or having a detrimental impact on the church building.
 5. The applicant should confirm arrangements for the long-term conservation and maintenance of the retained internal elements of the church, including the organ.

Mullock heap

It is not proposed to impact the mullock heap or tailings with the development. A site survey has found there are no mine shafts located on the site. A preliminary site assessment identified some levels of contamination and therefore recommends the requirement for an Environmental Management Plan. No samples exceeded the adopted human health assessment criteria; however, some samples did exceed the adopted ecological screening level.

Neighbourhood character

The applicant provided a *Visual Amenity Document* (Orbit Solutions, dated 24 October 2023) (Attachment 1.1.5) to respond to matters raised by objectors as well as to enable the application's proper assessment against key planning policies related to vistas, views and landmarks, and in particular the Neighbourhood Character in Daylesford policy at Clause 15.01-5L-01.

The document provides 'before' and 'after' views of the site from four specified sites in Daylesford, being: corner of Albert Street and Perrins Street; corner of Camp Street and Raglan Street; corner of Camp Street and Central Springs Road, and the top of Wombat Hill. These locations were specified by Council and chosen due to their identification in the planning scheme as key views into/of Daylesford.

In relation to each site, the Document shows:

- Top of Wombat Hill – proposed development is not visible (due to existing vegetation and site slope).
- Camp Street and Central Springs Road – proposed development (both middle and rear buildings) is not visible due to existing built form on Camp Street e.g. the dwellings at 21 and 23 Camp Street block views from this location. The church building retains its dominance in this view.
- Albert Street and Perrins Street (noting image location is labelled as 71 Albert Street) – proposed development will be visible to rear of church building. The church building and existing vegetation on the northern property boundary generally obscure the building. The church building remains as the dominant built form in this view. Illustrates the importance of vegetation in this location, particularly on the northern boundary.
- Camp Street and Raglan Street (noting image location is labelled as 6 Camp Street) – proposed development is not visible due to existing building form on the eastern side of Camp Street.

This Document is extremely useful in determining the visual impact of the proposal. It is also noted that the images provided were taken in Spring with many trees still without leaves.

A landscape concept plan submitted with the application is not considered to provide an adequate landscape response to neighbourhood character. A more robust landscape response is recommended to respond to Character Precinct 14 which seeks to maintain and enhance the historic qualities of the area and garden settings of dwellings.

Other considerations

Sustainability Management Plan (Blue Bee Sustainable Services, dated 17 May 2023)

The SMP was provided to enable Council to assess the application against the requirements of Clause 15.01-2L. It provides six recommendations to be included on the next design drawings to ensure compliance with this Clause, and a further recommendation for better building energy performance (except the church).

The SMP includes a BESS Report which achieves a 55% BESS score.

Water Quality Strategy & MUSIC Modelling (Xstruct, dated 23 April 2023)

This report details the proposed water sensitive urban design (WSUD) strategy) for the proposed development and to respond to Clause 53.18. The proposed stormwater treatment design comprises:

- 2000L rainwater tank (for the middle and rear buildings),
- OceanGuard filtration (for all ground coverings), and a
- StormFilter system (through which all water flows through to the drainage system).

There appears to be no reuse of water proposed on site, and the location of the rainwater tank or other drainage infrastructure is not shown on the plans. The applicant has advised that these matters can be addressed as conditions of permit and no further information on this matter needs to be provided to Council at this time.

Processing

- Application lodged 20 December 2022.
- RFI sent 16 January 2023. Extension of time requested granted 19 March 2023 and 16 May 2023.
- RFI response received 18 May 2023. Query followed up with applicant 26 May 2023, resolved by applicant 1 June 2023.
- Application referred and public notice instructions provided 7 June 2023. Statutory declaration received 7 July 2023. Six objections received.
- Additional comments provided to applicant 20 July 2023 to address objection issues and seeking further clarification on key planning issues.
- Response from applicant received 3 November 2023. Internal review completed 10 November 2023.

- Applicant's response to objections forwarded to all objectors 20 November 2023.
- No additional comments have been received from the objectors.

Referrals

The application was referred externally to Goulburn-Murray Water who offered no objection or conditions.

The application was referred internally to Engineering, Economic Development, Biodiversity and the Arboricultural team Health. Heritage advice was sought externally. Engineering and the Arboricultural team required permit conditions.

POLICY AND STATUTORY IMPLICATIONS

This application meets Council's obligations as Responsible Authority under the *Planning and Environment Act 1987*.

GOVERNANCE ISSUES

The implications of this report have been assessed in accordance with the requirements of the Victorian Charter of Human Rights and Responsibilities.

SUSTAINABILITY IMPLICATIONS

There are no sustainability implications associated with this report.

FINANCIAL IMPLICATIONS

Any application determined by Council or under delegation of Council is subject to appeal rights and may incur costs at VCAT if appealed.

RISK IMPLICATIONS

No risks to Council other than those already identified.

COMMUNITY AND STAKEHOLDER ENGAGEMENT

The application has been advertised by sending notification of the proposal to adjoining and adjacent owners and a notice on the land. As a result, six objections have been received. The issues raised in the objections are addressed as follows. The applicant also provided a response to the objections which was provided to each objector on 20 November 2023 for consideration.

Table 3 – objection issues raised and response

<i>Issue raised</i>	<i>Response</i>
Support plans for the renovation and restoration of the church building.	Noted.

The number of units and garage proposed is concerning.	Extent of garage discussed in report. Needs to be balanced with provision of on-site car parking.
Extent of groundworks on the site.	Extent of site cut discussed in report. Further details should be provided prior to works commencing. Management of works could be a condition of permit.
Possible existence of ventilation and mining shafts; located in close to historic mine shaft and heritage tailings.	<p>Further site investigations undertaken by applicant. No evidence of ventilation or mining shafts on the site has been identified to date.</p> <p>There appears to be general consensus that the mine shaft is located east of the site.</p> <p>The edge of the tailings is shown on all plans and is not proposed to be disturbed. This could be reinforced with permit conditions and monitoring. This has also been previously raised with the applicant and its approach confirmed.</p>
Classification of 'Group Accommodation' and impacts on landscaping, open space and car parking requirements.	Applicant confirmed appropriate land use definition which is accepted. The use of 'Group Accommodation' only directly impacts the maximum building height on the site with other issues noted still needing to be addressed. The building height is considered in the report.
No provision for long-term affordable housing or social housing.	<p>Refer to discussion in report.</p> <p>None is required to be provided. Refer to Council's Affordable Housing Strategy.</p>
Impacts on infrastructure.	No infrastructure issues have been raised via the internal referrals completed.
Loss of long-term residential properties and impact on neighbourhood amenity.	Refer to discussion regarding the NRZ1 and appropriate land uses.
Decreased residential gardens and verges.	The garden area to the street will be re-landscaped with regard to the church building.
Impact to Camp Street bitumen due to increased traffic.	Refer to traffic discussion in report. Any traffic impacts are minimal. Engineering requires permit conditions relating to stormwater drainage, site access and carparking. No issues regarding the Camp Street bitumen have been raised by

	Engineering.
More visitors parking on Camp Street	<p>Refer to discussion in report. Each unit will be provided with one on-site carpark which is considered appropriate.</p> <p>Note discussion regarding extent of the garage footprint required to accommodate this amount of carparking, versus providing less on-site carparking and relying on Camp Street to accommodate some parking. It is a balance of somewhat competing objectives. It is considered Camp Street is capable of accommodating some on-street parking for this application.</p> <p>Alternatively, Reducing the number of units on site would reduce the amount of carparking required. This in turn would reduce the extent of the garage footprint which would likely provide better opportunities for significant landscaping.</p>
Waste collection concerns	<p>Waste collection will be undertaken by Council. Bins will be bought to and from the street kerb as required by the site manager.</p>
Visual impact of development	<p>The Visual Amenity Document provided illustrates the visibility of the proposal at key locations within Daylesford. This analysis shows minimal impact from these perspectives with the church building to remain the dominant building form on the site. This included viewpoints to and from Wombat Hill.</p> <p>From a more immediate viewpoint, building height, setbacks from property boundaries and landscaping/screening are important elements in determining whether there is a visual impact, and, importantly, whether that visual impact is appropriate. They are two different questions.</p> <p>Discussion in this report suggests the building height and setbacks are generally acceptable and work to minimise any visual impact from the immediate neighbourhood.</p> <p>Existing vegetation assists with this outcome by providing a good level of screening. The report raises concerns with the removal of some of this</p>

	<p>screening as well as the longer-term viability of other screening trees proposed to be retained. Built into this is the noted lack of provision for new substantial landscaping.</p> <p>Should this issue be satisfactorily resolved then the visual impact of the development is diminished, and any visibility is likely considered appropriate. Development does not need to be invisible.</p>
Impact on neighbourhood character.	Refer to discussion in report and in other responses in this table. Concerns are noted regarding impact on landscape character in particular.
Increased noise, including outdoor terraces.	Refer to discussion in report regarding appropriateness in NRZ. Three of the outdoor terraces with spas are located reasonably close to the southern property boundary. There may be opportunities to relocate these to the north facing outdoor spaces instead, noting the adjacent land to the north is vacant.
Removal of trees will impact privacy	Refer to discussion in report. Retention of screening vegetation should be further considered.
Height of buildings will impact privacy.	Refer to discussion in report and this table.
Not in keeping with heritage values; development is inappropriate for a heritage precinct.	<p>Council engaged an external heritage consultant to review the application. Those comments are provided in this report. The consultant generally supports the proposal.</p> <p>As noted in the report, the site is not actually included in the churches heritage precinct, with only an individual site heritage overlay listing.</p>
Wombat Hill future World Heritage listing	The proposal is not considered to have any impact on Wombat Hill.
Site should be preserved as green space	The site is privately owned. To be provided as green space would require Council or a government authority to own the site.
Cumulative impact of	The only reason this application is able to extend

development, setting of precedent.	<p>beyond the 9m NRZ maximum building height is because it is not a dwelling. The applicant's planning lawyers have confirmed the land use and provided relevant case law in support. This advice is agreed with.</p> <p>If other properties proposed similar applications, then the same would apply to those, and they would be considered on their merits.</p> <p>Also refer to discussion in report regarding the appropriateness of this land use within the NRZ, and specifically within the Daylesford context.</p>
Lack of Heritage Victoria involvement	<p>Heritage Victoria are not a referral authority in the Hepburn Planning Scheme for this application. Council has sought external expert heritage advice for this application.</p> <p>The proposal may trigger Heritage Victoria involvement via a different Act or regulation that does not come under Council's remit.</p>
Inappropriate building materials	<p>Whilst the building materials proposed may not be to everyone's taste, they are generally considered appropriate within the context of a modern development.</p>
No access to Garden Lane	<p>No access to Garden Lane is proposed. Council's engineers have further requested conditions in this regard, including during construction.</p>
Drainage	<p>The application has provided some indication of on-site drainage, though some details are lacking as discussed in this report. Permit conditions are required to ensure all matters are appropriately considered, as requested by Council's engineers.</p>
Water use	<p>The application is accompanied by a Sustainability Management Plan. This SMP notes the proposal 'passes' with a 55% score. This complies with the current requirements of the Hepburn Planning Scheme. Additional policy would be needed to require higher levels of achievement.</p>
Amount of car parking provided	<p>Refer to report discussion. One car park per unit is considered appropriate and the same rate for a</p>

	<p>single bedroom dwelling.</p> <p>Bus parking would be accommodated on the street, per most other similar developments within Daylesford.</p>
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19A CAMP STREET DAYLESFORD

LANDSCAPE CONCEPT PLAN
11.05.2023





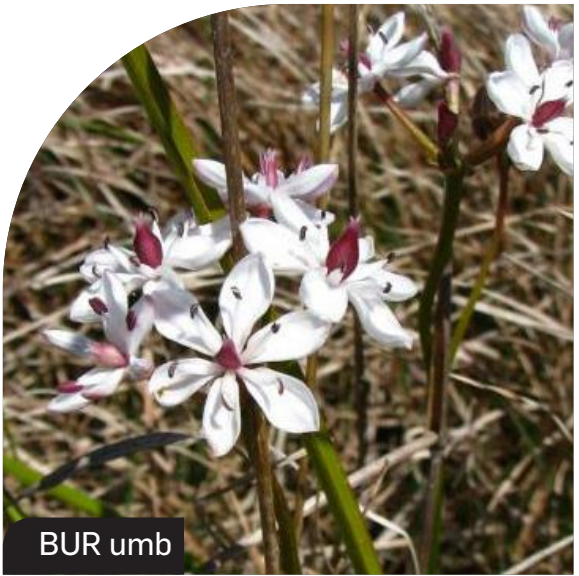
PLANT SCHEDULE
MIX 01

TREES		Size at maturity (H x W)
ACA mea	<i>Acacia mearnsii</i> **	8-10m x 8m
BUR spi	<i>Bursaria spinosa</i> **	2-6m x 2-3m
COR cit	<i>Corymbia citriodora</i> ‘Scentuous’	10m x 5m
DOD vis	<i>Dodonaea viscosa</i>	2m x 2m
SHRUBS (To be selected from)		
ADE ser	<i>Adenanthos sericeus</i>	3m x 1.5m
COR ref	<i>Correa reflexa</i> **	1m x 1m
GRE alp	<i>Grevillea alpina</i> *	2m x 2m
POA lab	<i>Poa labillardieri</i> **	1m x 0.5m



PLANT SCHEDULE
MIX 02

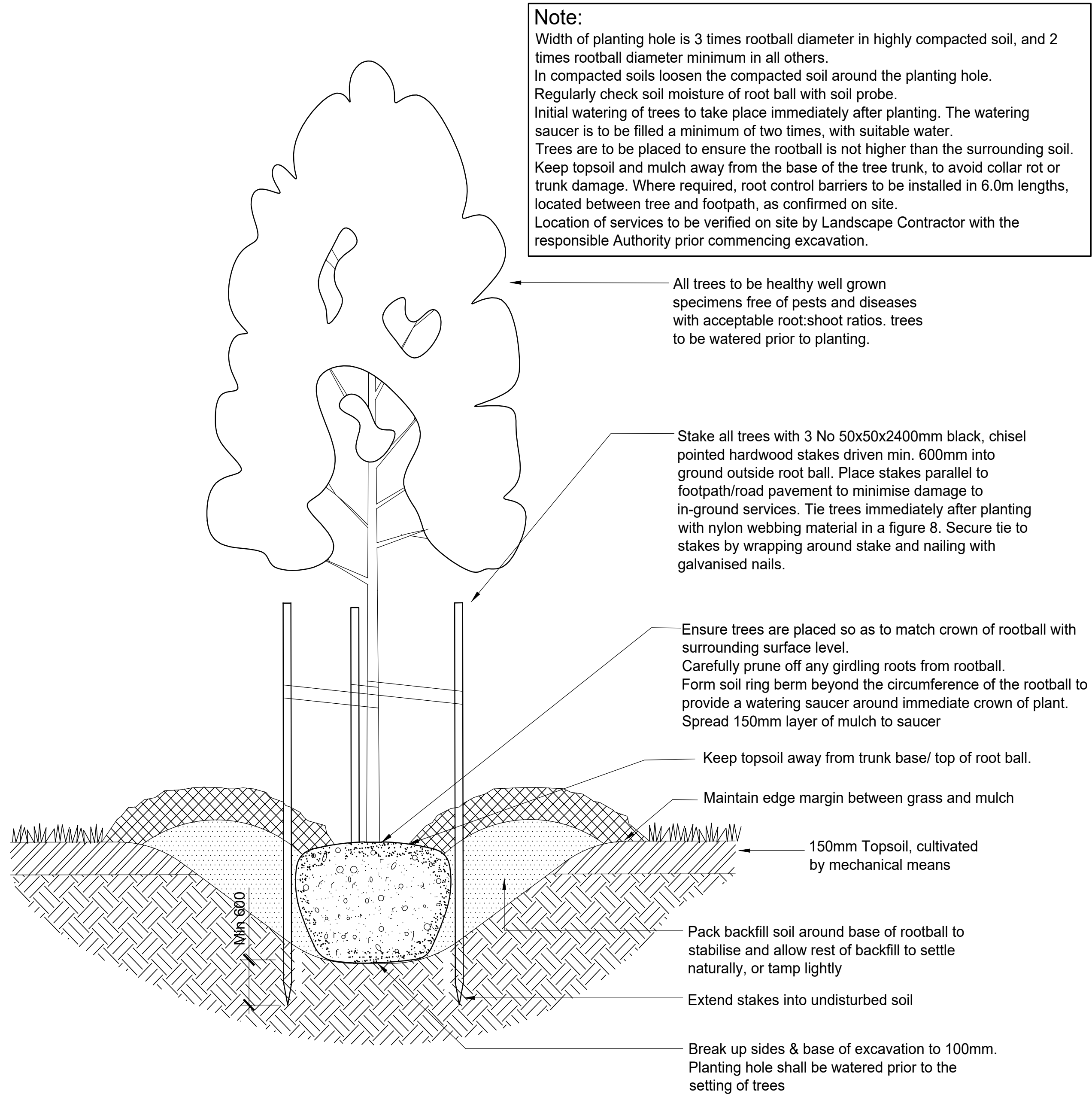
SHRUBS (To be selected from)		Size at maturity (H x W)
BUR umb	<i>Burchardia umbellata</i> **	0.5m x 0.5m
CAR tes	<i>Carex appressa</i>	0.5m x 1m
CHR api	<i>Chrysocephalum apiculatum</i>	0.4m x 1.5m
EPA imp	<i>Epacris impressa</i> **	2m x 2m
MYO vis	<i>Myoporum viscosum</i>	1m x 1m
GROUNDCOVERS (To be selected from)		
KEN pro	<i>Kenedia prostrata</i> *	0.1m x 3m
TET cil	<i>Tetratheca ciliata</i> *	0.5m x 0.5m
VIO hed	<i>Viola hederacea</i> *	0.2m x 1m



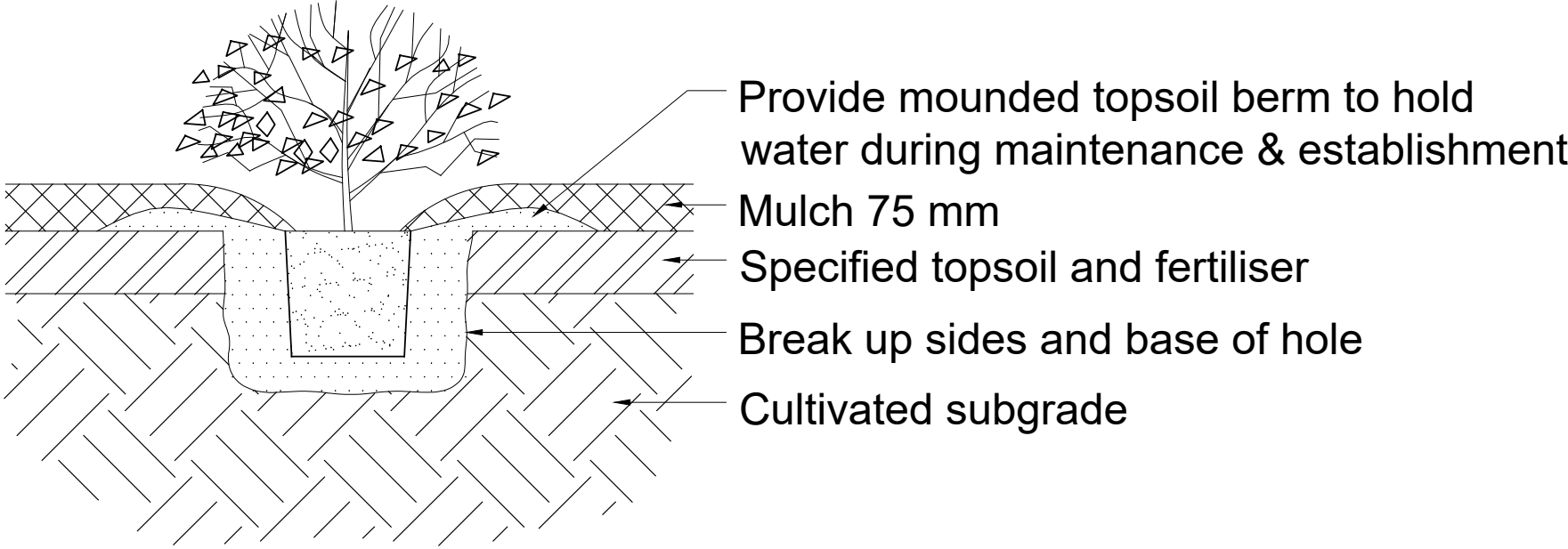
PLANT SCHEDULE
MIX 03

SHRUBS (To be selected from)		Size at maturity (H x W)
BUL bul	<i>Bulbine bulbosa</i> *	0.7m x 0.5m
POA lab	<i>Poa labillardieri</i> **	1m x 0.5m
PRO den	<i>Prostanthera denticulata</i> *	0.4m x 0.5m
RHA ind	<i>Rhaphiolepis indica</i>	2m x 1.5m
ROS off	<i>Rosmarinus officianalis</i>	1m x 1m
SAL leu	<i>Salvia leucantha</i>	1.5m x 1.5m
SAN cha	<i>Santolina chamaecyparissus</i>	0.6m x 1m
STA byz	<i>Stachys byzantina</i>	0.2m x 0.5
GROUNDCOVERS (To be selected from)		
SCA alb	<i>Scaevola albida</i>	0.1m x 2m
VIO hed	<i>Viola hederacea</i> *	0.2m x 1m



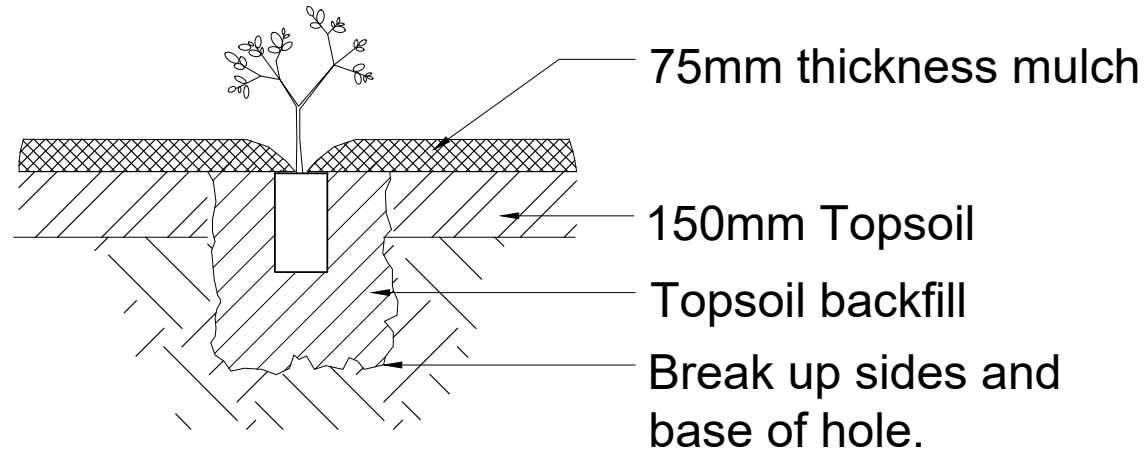


1
LCP
ADVANCED TREE PLANTING
SCALE 1:10 @A1

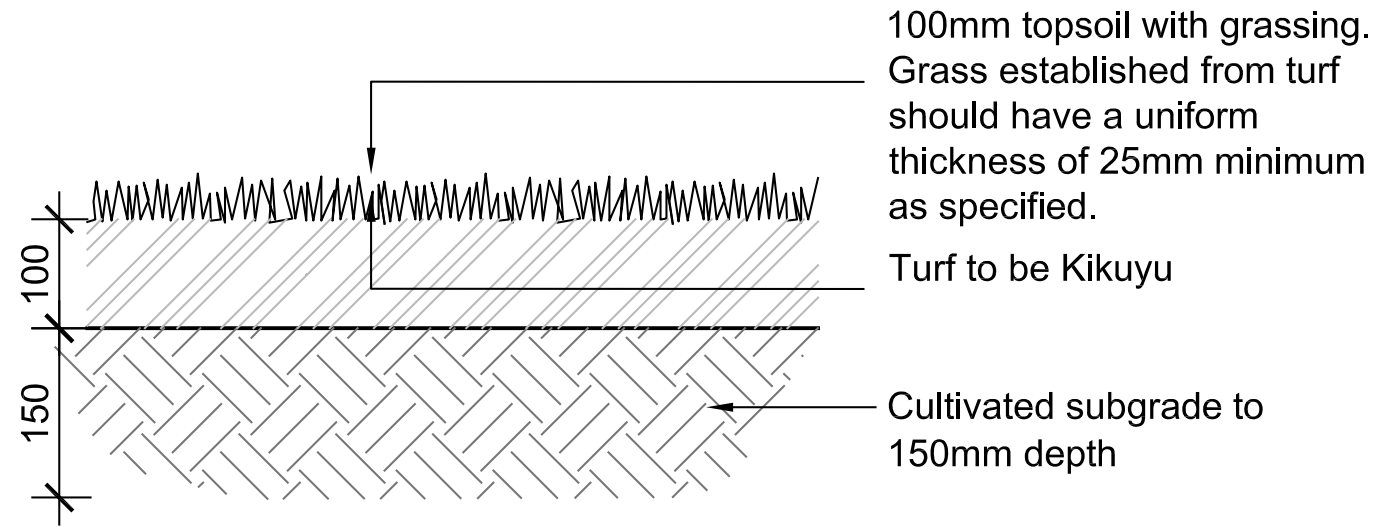


Note:
Dig hole twice as deep as rootball and allow at least 200mm around sides for backfilling with topsoil.
Apply fertiliser in base of hole, cover with topsoil (Refer Specification for further detail).
Place plant in centre of hole, backfill with approved topsoil, firming progressively.
Water in well.
Stake larger shrubs where necessary, using 50 x 50 x 1200mm hardwood stakes.

2
LCP
POT SIZE 200MM PLANTING
SCALE 1:10 @ A1



3
LCP
TUBESTOCK PLANTING
SCALE 1:10 @ A1



4
LCP
TYPICAL TURF DETAIL
SCALE 1:10

PLANNING PERMIT APPLICATION:

**CONVERSION OF FORMER CHURCH INTO
TWO (2) GROUP ACCOMMODATION UNITS,
CONSTRUCTION OF TEN (10) GROUP
ACCOMMODATION UNITS TO THE REAR AND
ASSOCIATED VEGETATION REMOVAL**

AT:

19A CAMP STREET DAYLESFORD 3460

PREPARED ON BEHALF OF:

MAIN AND CAMP PTY LTD

DATE OF REPORT:

JUNE 2023 (VERSION 2)



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THE PROPOSAL

Clement-Stone Town Planners act on behalf of the registered landowner in regard to the proposed use and development at 19A Camp Street, Daylesford. We have been engaged to consider the proposed planning permit application *‘the conversion of former Church into two (2) group accommodation units, construction of ten (10) group accommodation units to the rear and associated vegetation removal’* and provide an assessment of the proposal against the relevant State and Local Planning Policy Framework.

Planning Permit History

Planning permit application (2003/7675) sought consent for *the demolition of the timber former Sunday school building located to the rear of the former Church and the construction of eight (8) dwellings*. This application did not specify any use or redevelopment of the Church building.

The application was refused by Council on six grounds generally relating to inconsistencies with State and Local planning provisions, Clause 55, Heritage Overlay, the heritage values of the site and surrounding precinct, and amenity impacts. The Tribunal upheld Council’s refusal (VCAT reference no. P2942/2003) and found that the demolition of the former Sunday school building was not justified in that point in time, the replacement dwellings were inconsistent with the neighbourhood character objectives of the Scheme particularly in respect to scale and form, and would result in unreasonable visual amenity impacts.

A fresh application for the *conversion of former Church into three (3) dwellings, demolition of timber former Sunday school building, construction of six (6) dwellings and subdivision* was subsequently filed with Council in 2006. Council ultimately supported this proposal and granted a permit on 22 January 2007 (permit no. 2006/9058, assessment no. 5/1130/00700). This permit was never acted upon and has since lapsed.

The current application proposes a similar development to the 2007 permit. The design response has been carefully formulated in close consultation with the project heritage advisors (Lovell Chen) – who have an intimate understanding of the site and permit history given their involvement in the previous VCAT appeal (providing expert evidence for Council) and previous permit (providing heritage input and the conservation management plan on behalf of the applicant). A Heritage Impact Statement (HIS) undertaken by Lovell Chen forms part of this application.

A neighbouring mature Manna Gum (*Eucalyptus viminalis*) Tree 9 has since been removed in accordance with Planning Permit No. PLN/23/0024 (9 March 2023).

Project Team

The project team is comprised of the following consultants:

- Architect – Robin Larsen Design Pty Ltd
- Town planning – Clement-Stone Town Planners
- Heritage – Lovell Chen
- Traffic – Traffix Group
- Surveyor – Rowan Mobbs
- Arborist – Treelogic and Future Tree Health
- CHMP – John Young (West Vic Heritage)
- Landscape – Urbis

- SMP – Blue Bee
- WSUD - Xstruct

This report will provide recommendations following our assessment regarding the performance of the development against the relevant Planning Scheme requirements.

THE SUBJECT SITE AND LOCALITY

The subject site (also known as Lot 3 Plan of Subdivision 401766D) is located on the easter side of Camp Street, Daylesford. It comprises an irregular shaped lot, with a street frontage of 30.36 metres, a maximum side boundary length of 33.39 metres, and a total lot area of 2,347 square metres.

The subject site is within the **Neighbourhood Residential Zone (Schedule 1)** of the *Hepburn Planning Scheme*. The site is encumbered by the **Heritage Overlay (HO280)** and **Environmental Significance Overlay (Schedule 1 and 2)**.

The site is also identified within an area of Aboriginal Cultural Heritage Sensitivity and designated Bushfire Prone Area.



Figure 1 Location, zone, and orientation of subject site

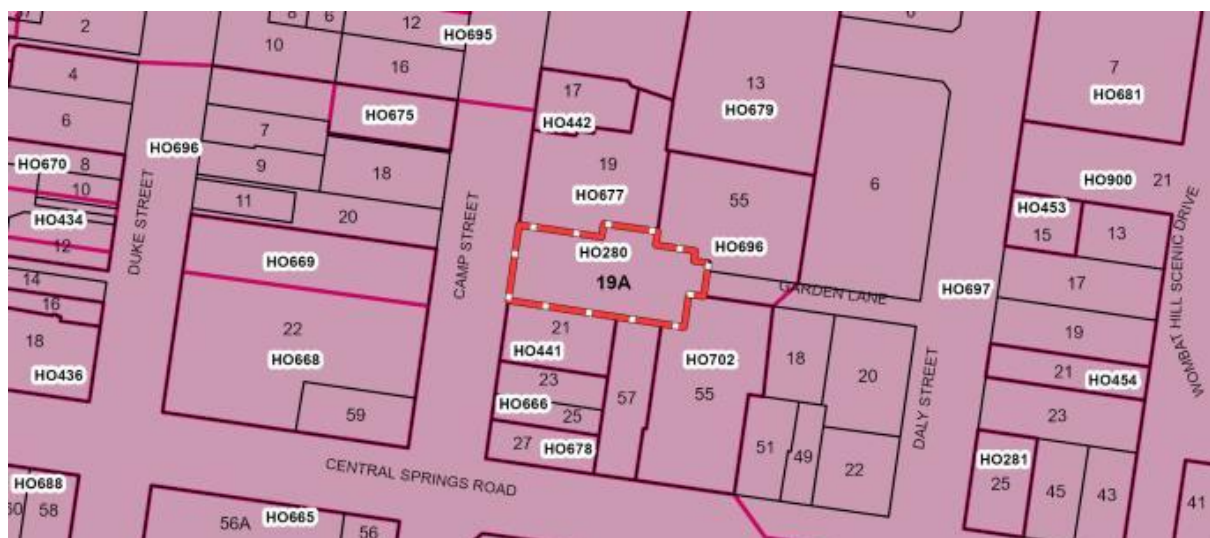


Figure 2 Heritage Overlay



Figure 3 Environmental Significance Overlay

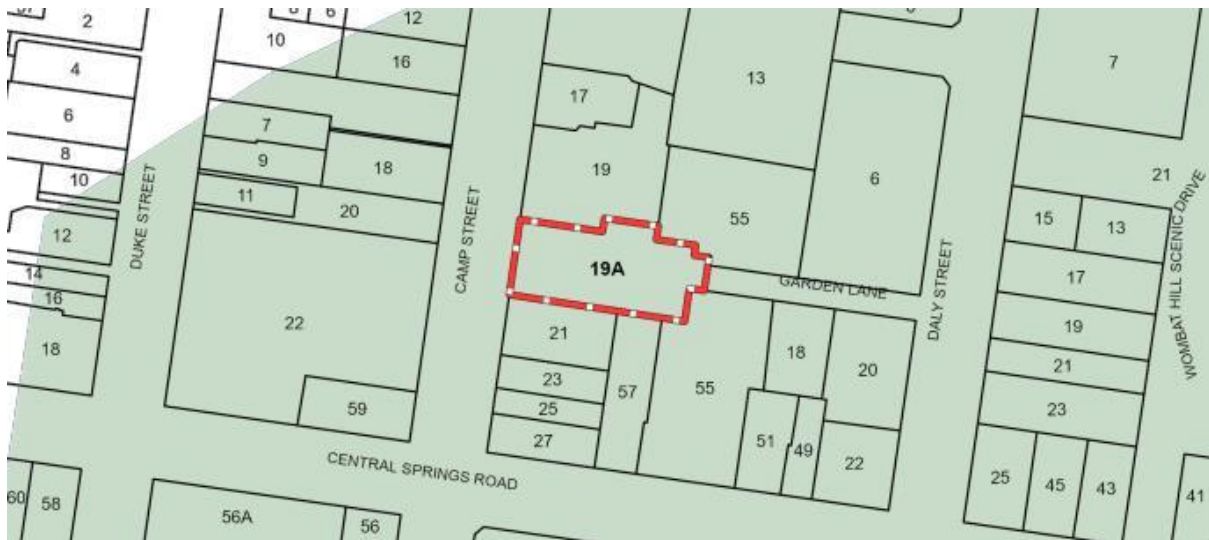


Figure 4 Areas of Aboriginal Cultural Heritage Significance



Figure 5 Designated Bushfire Prone Area

The site is currently occupied by the former Church building located towards the Camp Street frontage and is vacant towards the rear.

The timber former Sunday school building was dilapidated and collapsed during a storm event at the end of 2021. We are advised that an emergency building order was issued by Hepburn Shire Council's building department for the immediate clean up of the debris.

The site is accessible via a crossover and bitumen driveway running along the southern boundary of the site. The site is also accessible via an unmade government road (Garden Lane) located to the rear (east) of the site.

The site rises approximately 16 metres from the west (602.45 AHD) to east (618.40 AHD) and slightly from south to north.

A 3 metre wide sewerage and drainage easement (E3) in favour of Hepburn Shire Council runs along the southern and partially across the eastern boundary of the site. There are no other restrictions or encumbrances on title.

The project arborist (TreeLogic) has identified thirteen (13) individual trees and four (4) tree groups located on or within proximity of the subject site. All on-site trees (Trees 1 – 7, Tree 11 and 12) are assessed as low to medium arboricultural value and supported for removal. The on-site trees are predominantly Sweet Pittosporums which are an identified environmental weed. However, the applicant is seeking to retain a number of site trees with a low or very low arboricultural rating (Tree numbers 1, 2, 3, 4, and 5, as well as group G1). The arborist also notes that the roots of Tree 11 Sycamore and Tree 12 Jacaranda are located within close proximity to the entrance of the Church and observed to be lifting up the concrete paving around the building.

There are three large trees (Tree 8 – Walnut, Tree 10 – Ash, Tree 13 – Victorian Blue Gum)) and three tree groups (G1 – row of Sweet Pittosporums, G3 - Monterey Cypress, G4 - Portuguese Laurel) located on the neighbouring properties. Tree group G1 is not expected to be impacted by the proposed development.

As outlined within the arborist report, manageable impacts are proposed within the TPZ of Tree 8 – noting there will be no grade change (remain as per existing conditions) to the accessway ramp, permeable paving will be utilised within the TPZ and no cut to occur within the TPZ.

A neighbouring mature Manna Gum (*Eucalyptus viminalis*) Tree 9 has since been removed in accordance with Planning Permit No. PLN/23/0024 (9 March 2023).

There is no impact onto the remaining adjoining vegetation.

An approved Cultural Heritage Management Plan (CHMP) forms part of this application. In summary, the CHMP found:

None of the previous archaeological assessments undertaken in closest proximity to (within 1km of) the current Activity Area have resulted in the identification of Aboriginal cultural heritage.

Overall, the results of previous archaeological assessments have shown that the geographic region has been subject to extensive ground disturbance as a result of gold mining, residential development and service installations, but that Aboriginal cultural heritage may remain in intact soils or in disturbed sub-surface contexts.

The review of the land-use history of the Activity Area has shown it to have been subject to ground disturbance as a result of gold mining, the construction of buildings, earthworks – specifically to terrace naturally sloping ground, and installation of services.

Given the lack of Aboriginal cultural heritage identified in the previous archaeological assessments undertaken in closest proximity to the Activity Area and the evidence of ground disturbance in the geographic region more generally and the Activity Area specifically it is concluded that there is a very low potential for the proposed activity to result in harm to Aboriginal cultural heritage.

The CHMP concludes that no further testing and/or investigation of the site is required.

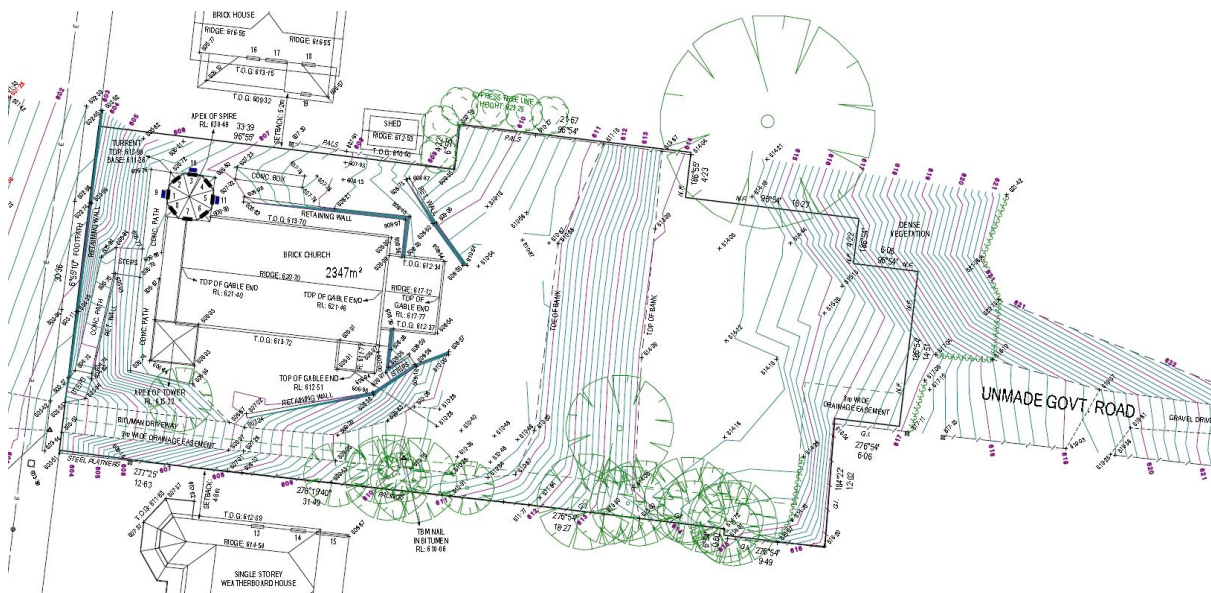


Figure 6 – Extract of survey plan



Figure 7 - Aerial of subject site (NearMap, 2022) – noting timber former Sunday school building has since been demolished



Figure 8 Subject site street frontage looking east



Figure 9 Subject site looking west onto Camp Street – neighbouring Tree 8 (Walnut) to LHS of photo (24 November 2022)



Figure 10 Subject site looking west from Garden Lane



Figure 11 Subject site looking north-east from rear of Church – post-Sunday school demolition



Figure 12 Subject site looking north-east from rear of Church – pre-Sunday school demolition

NORTH

To the north is 19 Camp Street which comprises a double-storey building used for holiday accommodation purposes (The Manse Daylesford). The building is individually listed under HO677 and was a former Presbyterian manse.

The building is located towards the Camp Street frontage with access towards the north-west corner of the site leading through to parking towards the rear. The rear setback contains scattered established vegetation.

SOUTH

To the south is 21 Camp Street which comprises a single-storey weatherboard Victorian/Edwardian dwelling. The dwelling is individually listed under HO441 (Bampton).

The dwelling comprises a tiered retaining wall front garden with access towards the south-west corner of the site leading through to a garage towards the rear.

EAST

To the east is Garden Lane (unmade road) which connects through to Daly Street further east of the site. Garden Lane is approximately 3 metres in width with no formal footpath.

WEST

To the west on the opposite side of Camp Street is largely comprised of a mix of single and double-storey dwellings in weatherboard or brick finish.

On the approach to Albert Street to the north and Central Springs Road to the south are non-residential uses such as Daylesford Community Church, the Albert Hotel Daylesford and St Peters Catholic Church (which has a rear interface onto Camp Street).

SURROUNDING AREA

Camp Street and the surrounding neighbourhood is generally comprised of a mix of Church buildings and residential dwellings. Commercial/retail development increases on the approach west towards the Daylesford Activity Centre (approx. 350 metres from the subject site). The centre provides access to shops, food/drink and other services and amenities.

The area also comprises a number of holiday rentals, short-stay accommodation and/or AirBnb-type accommodation within proximity to the subject site.

The aerial map below highlights the prevailing built form and pattern of subdivision in the immediate and surrounding area.

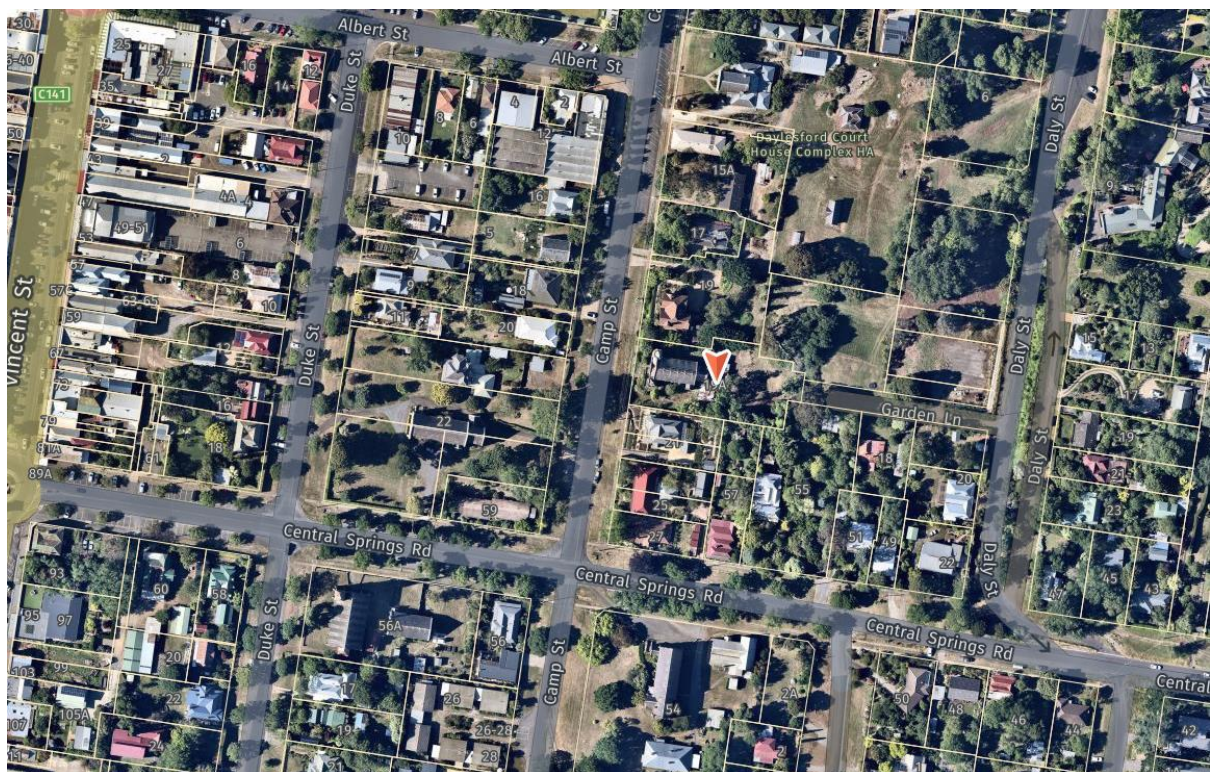


Figure 13 - Prevailing built form in the surrounding neighbourhood (NearMap, 2022)

THE PROPOSED DEVELOPMENT

The proposed development will involve the conversion of former Church into two (2) group accommodation units, construction of ten (10) group accommodation units to the rear.

The design response has been intentionally formulated in close consultation with the project heritage advisors Lovell Chen and a Heritage Impact Statement (HIS) forms part of these submissions.

The units will all contain one (1) bedroom and parking will be via a basement carpark towards the rear of the site.

Twelve (12) car spaces are provided within the basement carparking which equates to one space per unit. A traffic assessment and swept-path analysis prepared by Traffix Group forms part of these submissions which details the proposal's compliance with the requirements of Clause 52.06-9.

The site will retain the existing access from Camp Street towards the south-west corner of the site. No access is proposed from the rear unmade road.

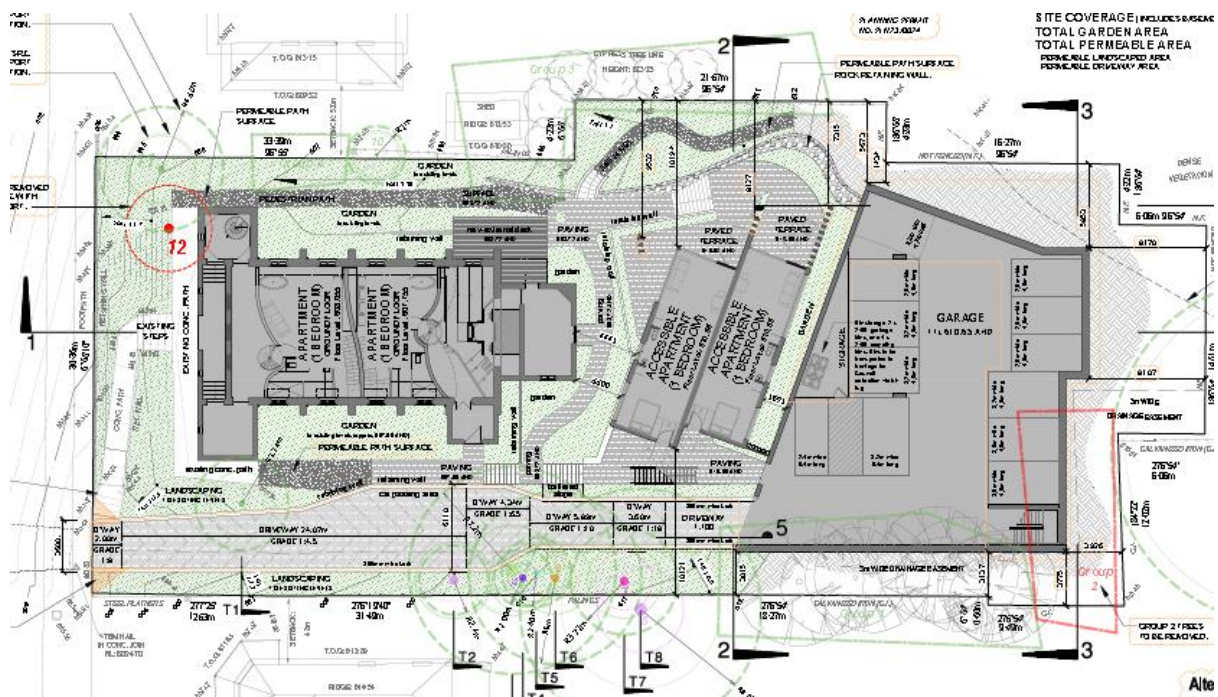


Figure 14 - Extract of site plan

Church conversion (two units)

The key alterations/additions to the former Church will include:

- Provision of 2 x 1 bedroom units across two levels with a common living area atop (total three levels)
- Retention of the existing raked timber floor under the new levelled floor
- Installation of 4 x north-facing skylights and solar tubes and a new door along the northern elevation
- Glass floors provided on the third level to the northern end and aligned with the skylights to provide natural light to the units below
- New walls and floor plates to sit independent of the external building fabric
- Provision of internal staircases to provide access to the units
- Heating/cooling to be provided to the units
- Proposed materials and finishes within the building include white painted plasterboard walls, black steel spiral staircases, hardwood timber floors
- Retention of existing timber joinery around the former pulpit and choir area to the east of the Church building, Church organ, timber roof trusses and brackets, stained-glass windows, entry vestibule, principal and east side porch entry
- Provision of an external timber deck structure (approx. 6.6 m x 3.6 m) to the north of the building (constructed independent of the Church exterior) directly accessible from inside the main building – the deck will be covered in a metal-clad awning overhead to provide privacy and shading

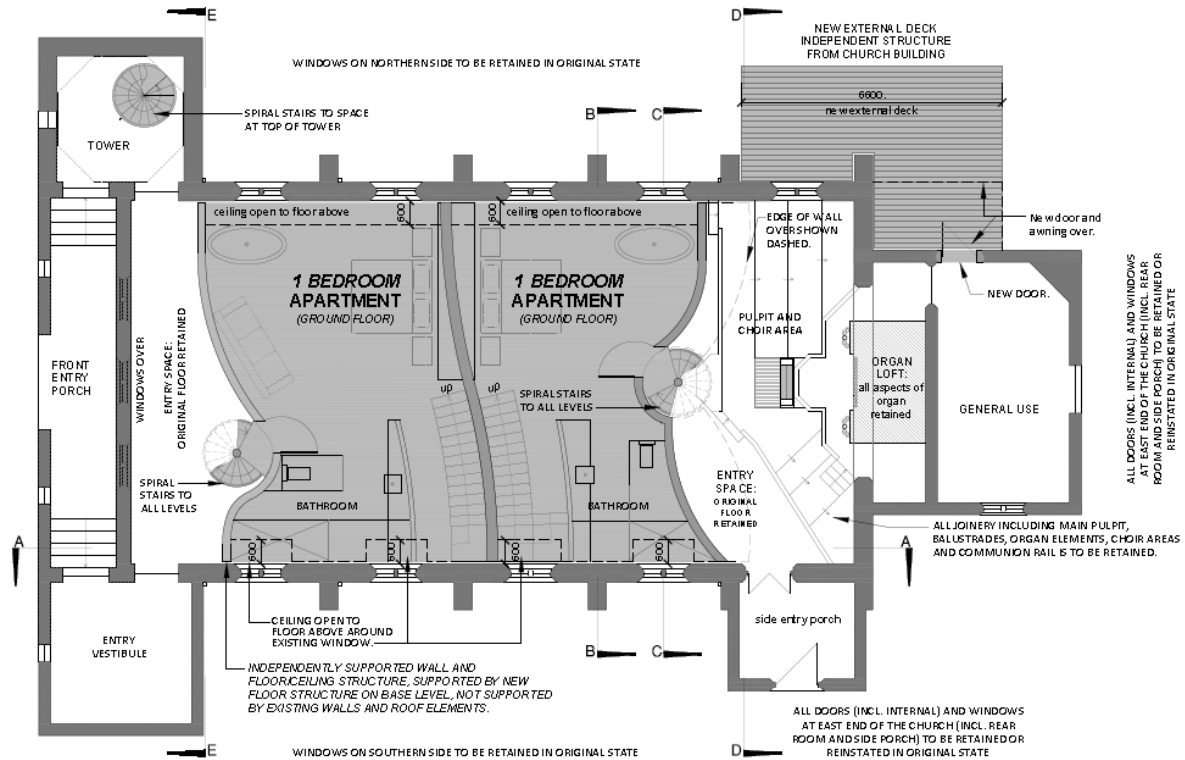


Figure 15 Extract of ground floor plan (Church)

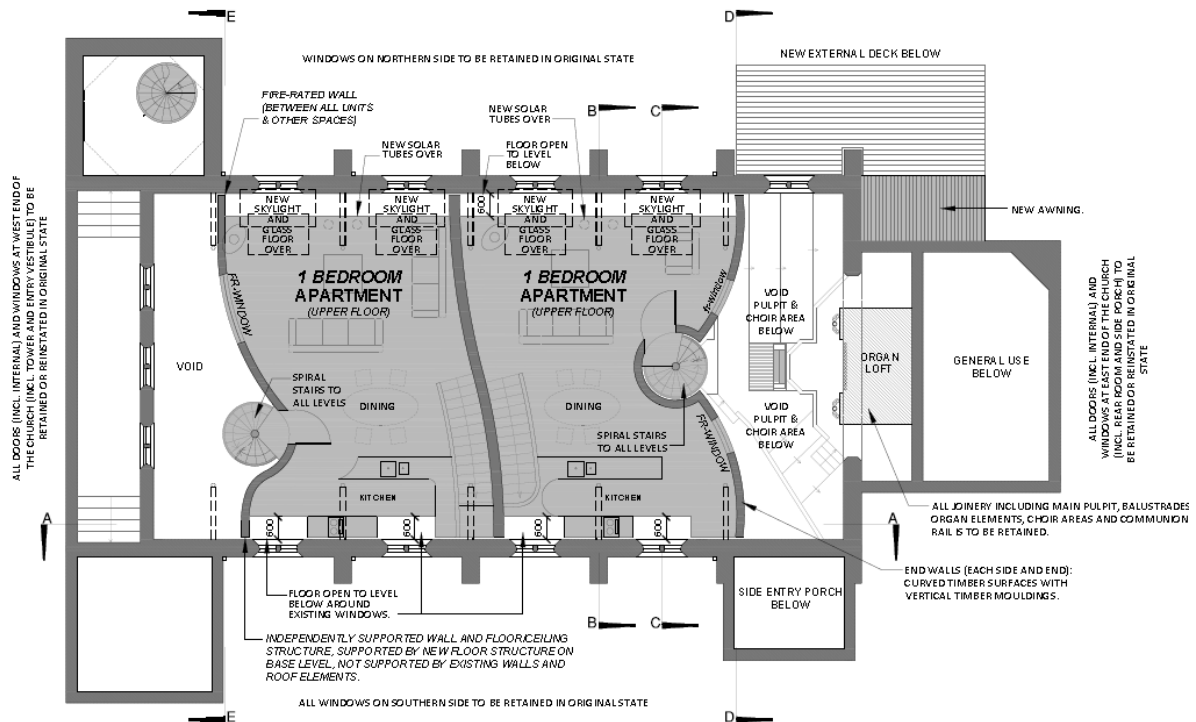


Figure 16 Extract of first floor plan (Church)

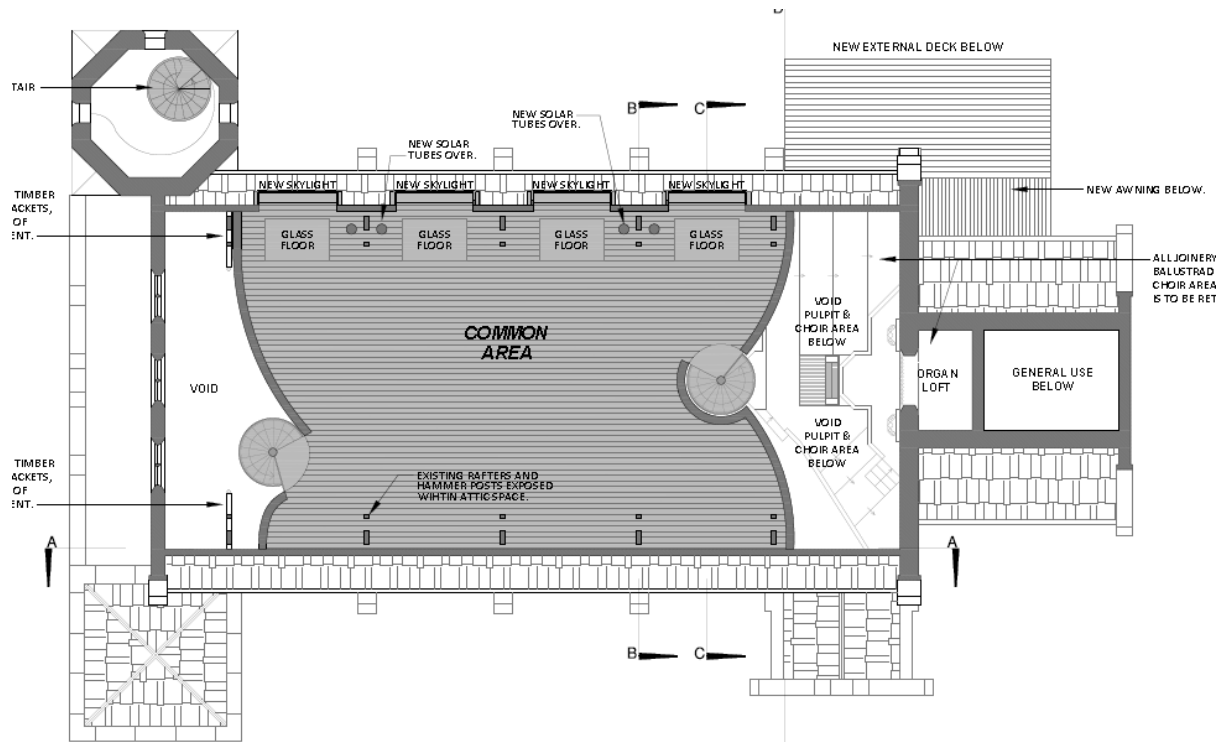


Figure 17 Extract of second floor plan (Church)

New accommodation units to the rear (ten units)

The key changes include:

- Construction of 2 x double-storey detached buildings containing 4 x 1 bedroom units ("Building 1" – western-most) and 6 x 1 bedroom units ("Building 2" – eastern-most)
- The buildings have been designed to step up towards with rear with the undulating topography of the land
- The basement carpark is located below Building 2
- Buildings 1 and 2 will have an overall height of 7.834 metres and 9.8 metres respectively – both sitting well below the height of the spire on the Church building to ensure the new structures do not detract from the heritage significance of the existing building
- Both buildings are setback generously from all side boundaries
- The architectural style of the buildings is contemporary in nature comprising of low rectangular forms with skillion roofs clad in Colourbond corrugated steel
- The units are orientated in a north-south direction with terraces and/or balconies located to the north, west and east of the units to maximise solar access
- External stairs located to the north and east of the buildings provide access to the units
- External materials and finishes generally comprise of Austral Hawthorn black brick, horizontal and vertical timber cladding in a natural finish and Scyon Axon vertical cladding painted in Dulux ecology green to ensure the built-form does not detract from the surrounding landscape

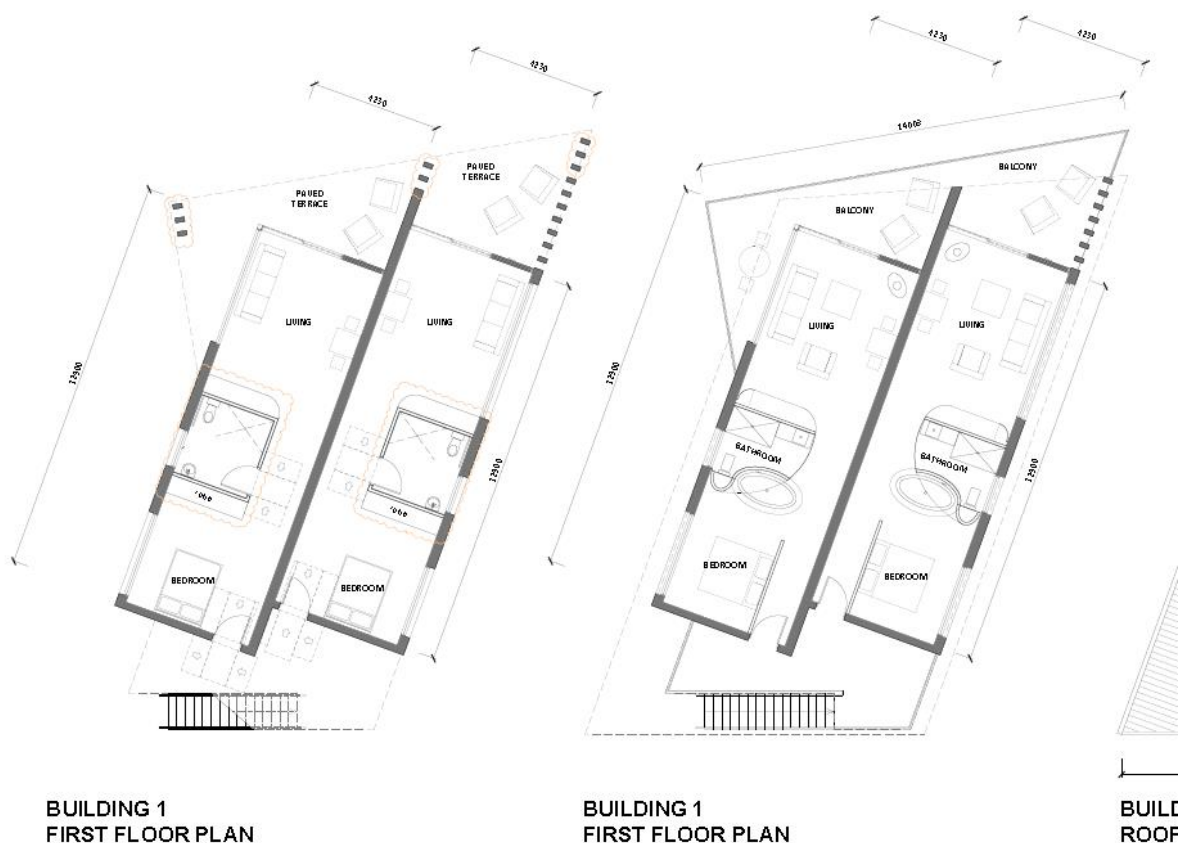


Figure 18 – Extract of Building 1 (western-most) ground and first floor plans

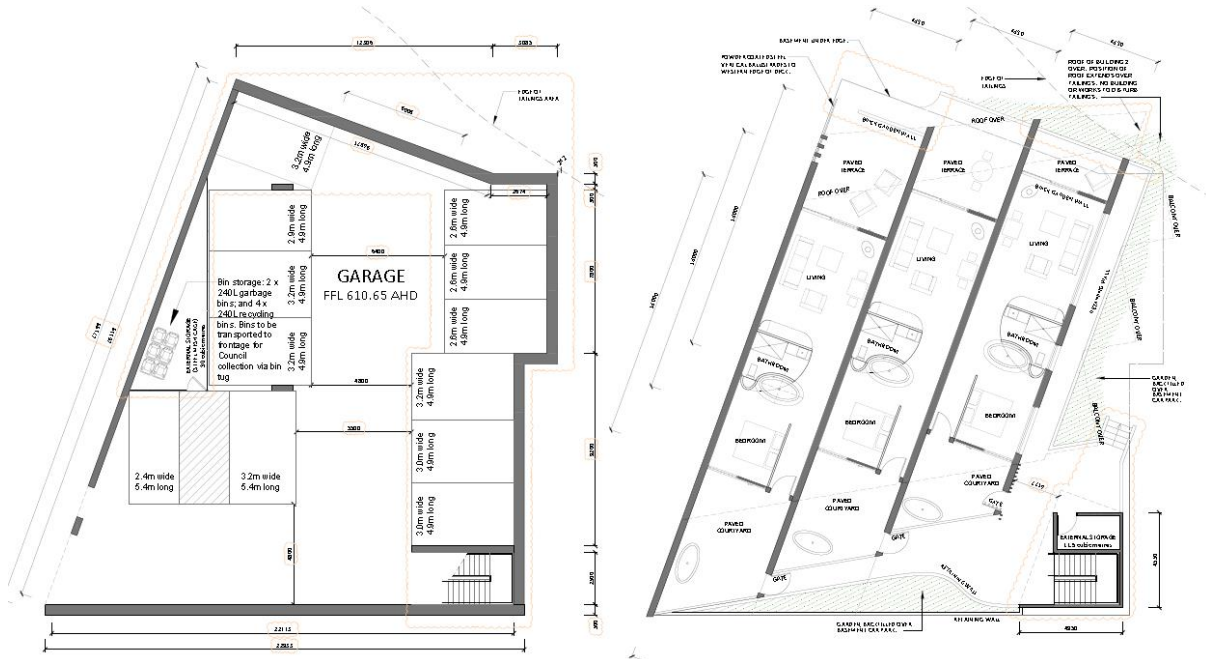
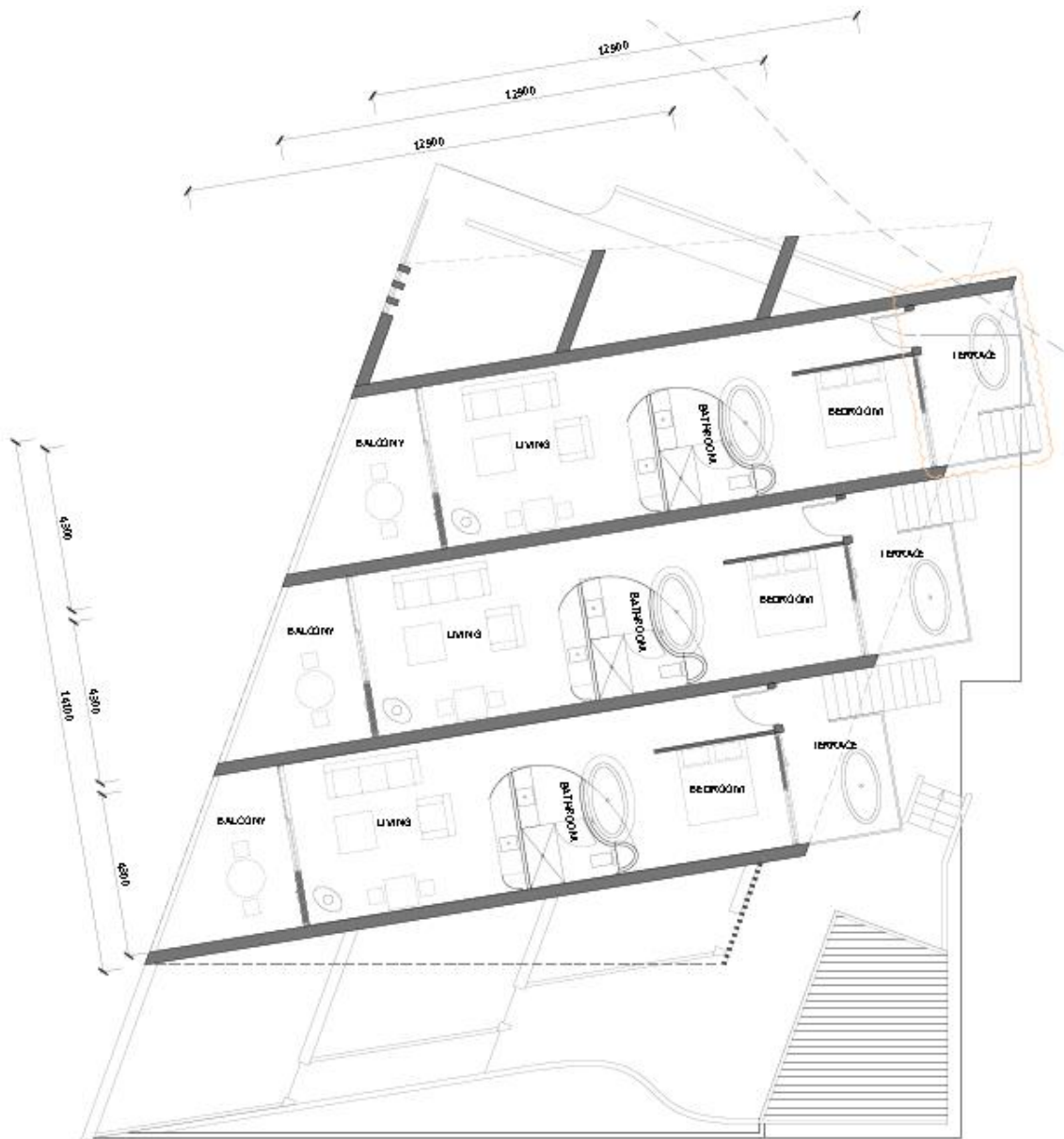


Figure 19 – Extract of Building 2 (eastern-most) basement carpark and ground floor plan



FIRST FLOOR PLAN

Figure 20 Extract of Building 2 first floor plan

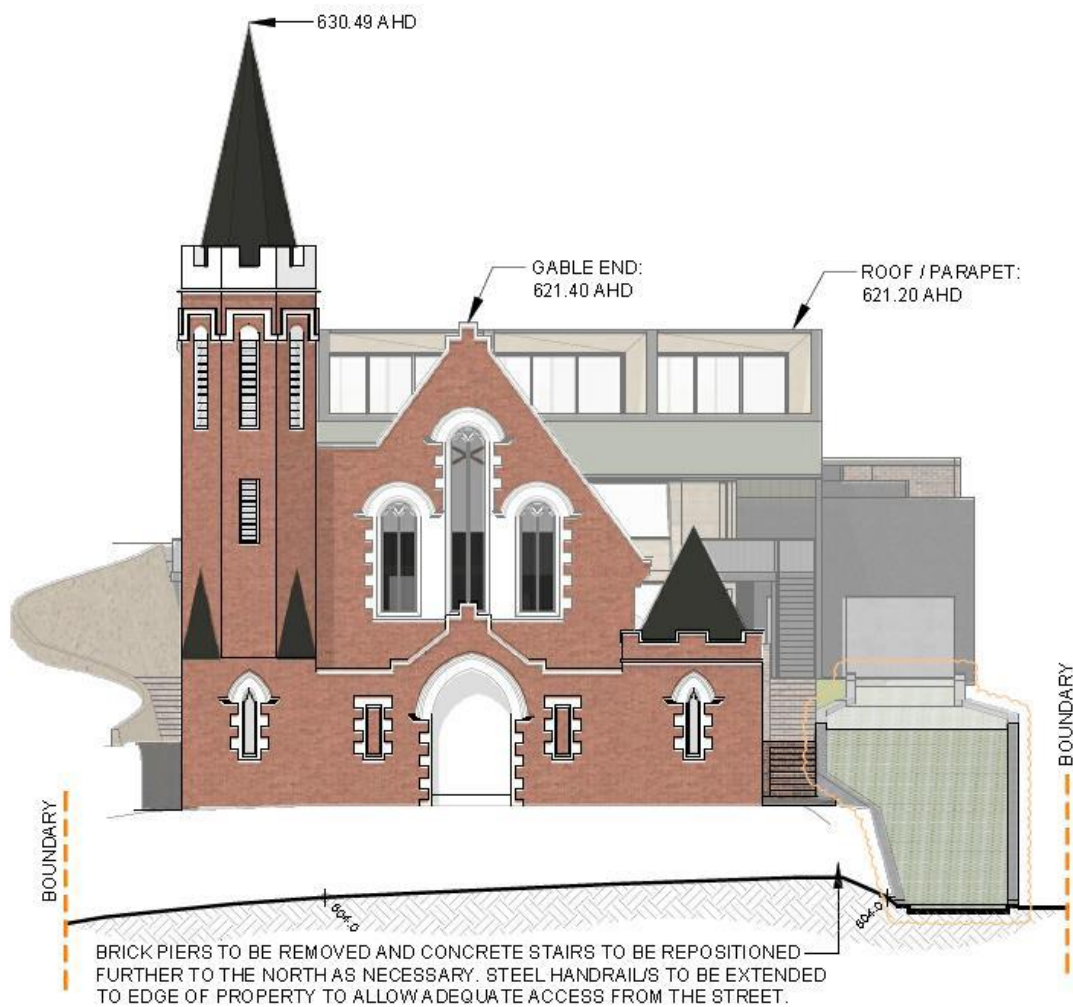


Figure 21 West (front) elevation



REAR / WEST ELEVATION

Figure 22 East (rear) elevation

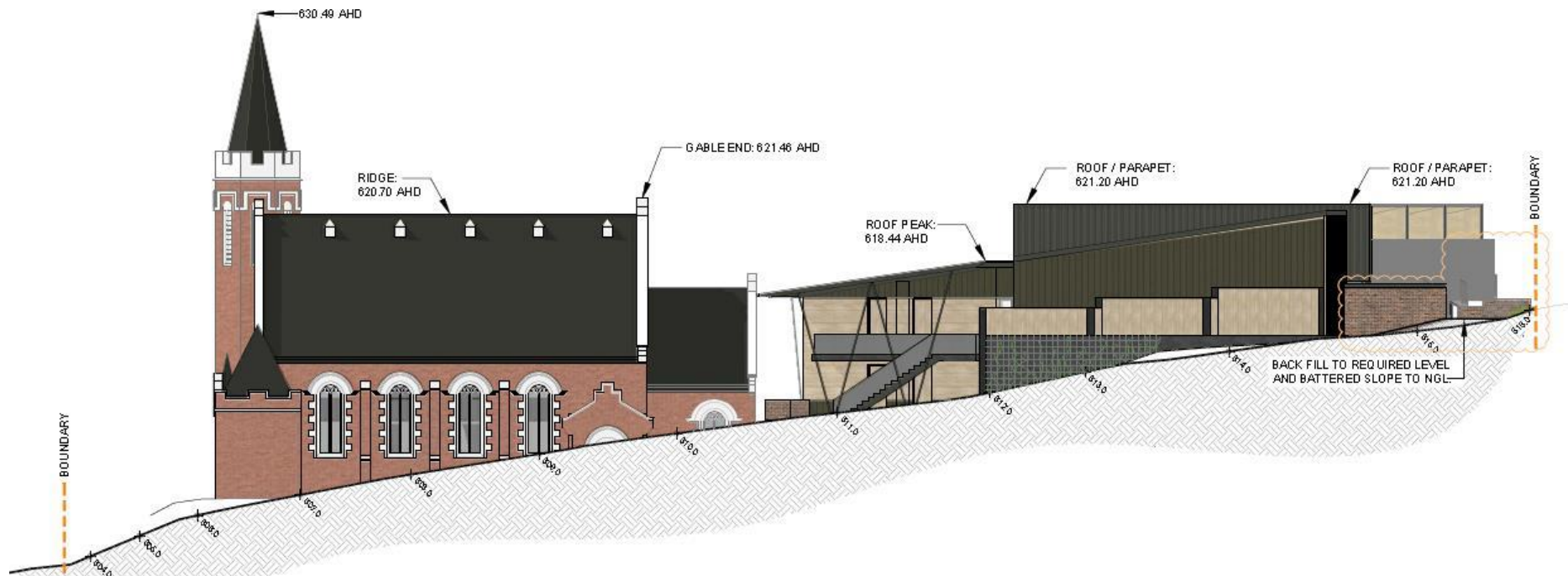


Figure 23 South elevation



Figure 24 North elevation

PLANNING PERMIT REQUIREMENT

Pursuant to **Clause 32.09-2** Neighbourhood Residential Zone (NRZ), a permit **is required** to use land for Accommodation including Group Accommodation (Section 2 Use).

Pursuant to **Clause 32.09-9** a permit **is required** to construct a building or construct or carry out works for a Section 2 Use.

It is noted the maximum building height requirements and minimum garden area requirements under the NRZ are not applicable to group accommodation buildings.

Pursuant to **Clause 42.01** (Environmental Significance Overlay), a permit **is required** to construct a building or to construct or carry out works.

Schedule 1 to the ESO (Special Water Supply Catchment Protection) states that a permit is **not required** to remove, destroy, or lop vegetation including dead vegetation unless the removal, destruction or lopping involves any native vegetation on land within 30 metres of a waterway.

Schedule 2 to the ESO (Mineral Springs and Groundwater Protection) does not afford any exemptions which are applicable to this application.

Pursuant to **Clause 43.01** (Heritage Overlay), a permit **is required** to demolish or remove a building including partial demolition. A permit is also required construct a building or to construct or carry out works. Schedule HO280 (Former Saint Andrews Presbyterian Church, with former Presbyterian Church/Sunday School Hall at rear, 19A Camp Street, Daylesford) turns on the permit triggers for external paint controls, internal alteration controls, tree controls and solar energy system controls.

As assessed against the relevant provisions, a planning permit is required for:

"The conversion of former Church into two (2) group accommodation units, construction of ten (10) group accommodation units to the rear and associated vegetation removal"

RELEVANT PLANNING POLICIES

In deciding an application, the Responsible Authority must consider the following planning policy frameworks and incorporated documentation as they are relevant within the Hepburn Shire Planning Scheme:

PLANNING POLICY FRAMEWORK

Clause 02.03	Strategic Directions
Clause 02.04	Strategic Framework Plans
Clause 11.01-1L	Township and Settlements
Clause 13.02-1S	Bushfire Planning
Clause 14.02-2L	Mineral Springs and Fresh Water Springs Protection - Hepburn
Clause 15.01-1L	Urban Design
Clause 15.01-2L	Environmentally sustainable development
Clause 15.01-5L-01	Neighbourhood character in Daylesford (Precinct 14)
Clause 15.01-6L	Central Springs and Lake Daylesford Reserve, Hepburn Mineral Springs Reserve and Lake Jubilee Reserve Environs
Clause 15.03-1L	Heritage
Clause 15.03-2L	Aboriginal cultural heritage
Clause 17.04-1S	Facilitating tourism

ZONE

Clause 32.09	Neighbourhood Residential Zone Schedule 1 to the NRZ (Daylesford Neighbourhood Residential Precincts)
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OVERLAYS

Clause 42.01	Environmental Significance Overlay Schedule 1 to the ESO Schedule 2 to the ESO
Clause 43.01	Heritage Overlay Schedule HO280 (Former Saint Andrews Presbyterian Church, with former Presbyterian Church/Sunday School Hall at rear, 19A Camp Street, Daylesford)

PARTICULAR PROVISIONS

Clause 52.06	Car Parking
Clause 53.18	Stormwater Management in Urban Development

GENERAL PROVISIONS

Clause 65	Decision Guidelines
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ASSESSMENT

PLANNING POLICY FRAMEWORK

Clause 02.03-5 provides strategic directions for built form and heritage which seek to protect the built, natural and cultural heritage to enhance appreciation of the Shire's history and to maximise opportunities for tourism.

The adaptive of the former Church building and construction of new group accommodation units for the purpose of holiday/short-stay accommodation achieves the above objective and is consistent with previous approvals issued for the site.

Clause 02.03-7 outlines that tourism has positive economic benefits in other business activities and infrastructure and is a major driver of the accommodation, café, restaurant and retail sectors. The strategic directions seek to maintain the tourism market by protecting and enhancing the attractions and features of the Shire.

The provision of group accommodation units in this location within walking distance of the Daylesford Town Centre and other attractions (e.g. Lake Daylesford and Wombat Hill Botanical Gardens) adheres to the above directions.

The settlement framework plan at **Clause 02.04** identifies the subject site as located within the Daylesford township (identified for consolidation).

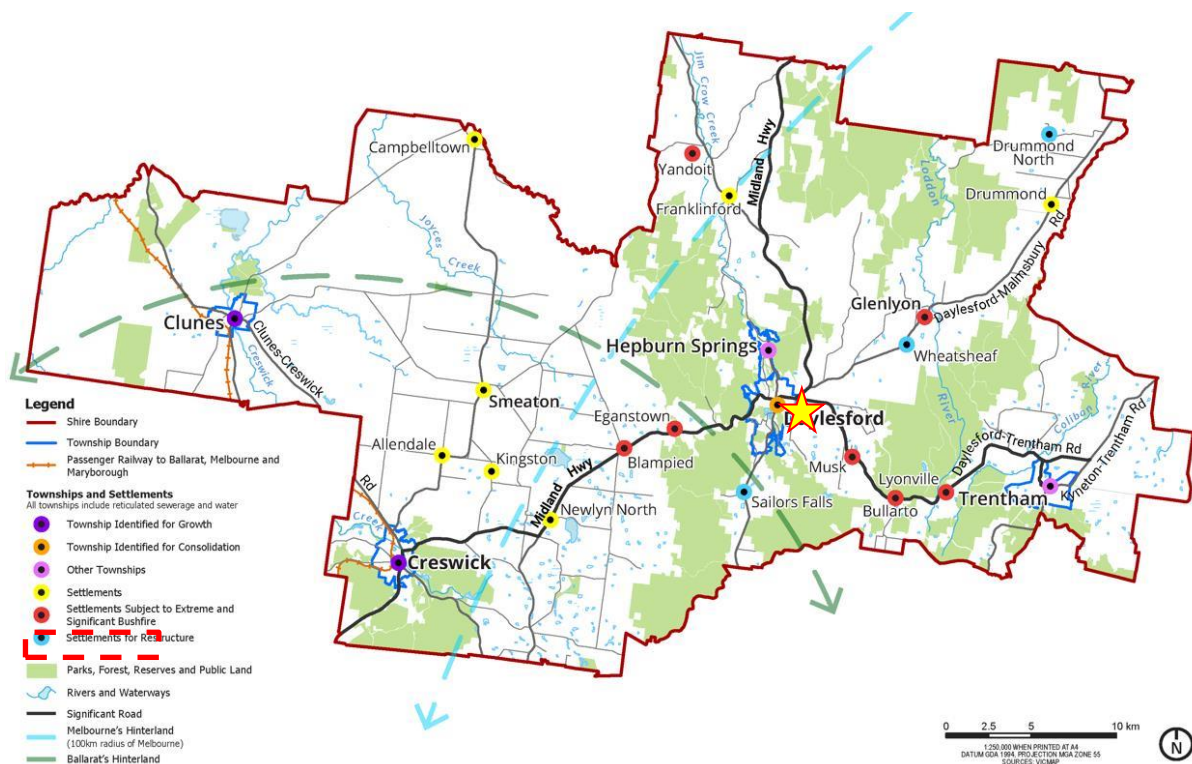


Figure 25 Extract of settlement framework plan - subject site starred

Clause 11.01-1L seeks to encourage development in townships and settlements to be respectful of heritage, environmental and neighbourhood character elements. The site is located within the Historic Town Core of the Daylesford Township.

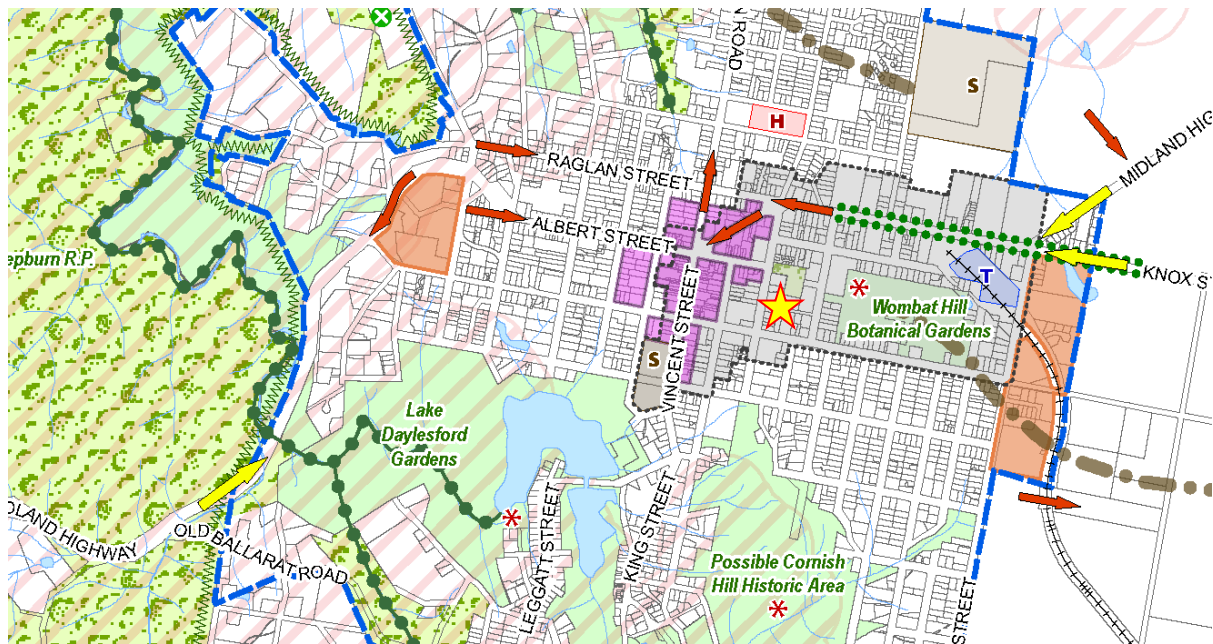


Figure 26 Daylesford township map - subject site starred

The proposal facilitates development on a site located within the Daylesford Township which provides access to local services and amenities.

The proposal retains the former Church building towards the front of the site to ensure development continues to respect the heritage fabric of the surrounding historical precinct.

The adaptive reuse of the existing building and construction of group accommodation units on the site adheres to consolidation objectives envisioned for the Daylesford Township and facilitates the tourism market in this area.

Clause 13.02-1S seeks to strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

The subject site is identified within a Bushfire Prone Area (BPA) and **is not** affected by the Bushfire Management Overlay.

The relevant BAL construction techniques will be determined by the relevant building surveyor and adhered to at building permit stage which ensures bushfire risk can and will be appropriately managed on the site.

Clause 14.02-2L applies to land affected by the ESO2. The provision seeks to enhance and protect the quality and quantity of mineral springs and freshwater springs water and not compromise aquifer integrity through development.

The subject site is located within an established residential area and has access to reticulated water and sewerage. Stormwater will be appropriately managed at detailed design stage and be connected to the legal point of discharge to the satisfaction of the responsible authority.

Clause 15.01-1L applies to land within the Daylesford township. This provision seeks to, as relevant to the proposal, protect and enhance the gold rush heritage built form, tourism and the landscape setting of townships and ensure that development respects and enhances notable features and landmarks of townships such as building form, volume, low scale height, setbacks, spacing, streetscapes, tree lined streets, intact heritage places and existing vegetation.

As above, the adaptive reuse of the former Church building and construction of group accommodation units on a site within walking distance to the town centre and major attractions adheres to consolidation objectives envisioned for the Daylesford Township and facilitates the tourism market in this area.

The proposed units to the rear have been carefully designed to sit well below the height of the Church spire to ensure it does not detract from the heritage fabric of the Church building and broader Church precinct.

There is no vegetation on the site that is worthy of protection. Regardless, the proposal seeks to retain on-site vegetation throughout the site. By setting back built form from all side boundaries, the proposal allows ample opportunity is available through the site for the planting of canopy trees and understory planting to ensure the development provides a landscape outcome in accordance with the existing and preferred character of the area. A landscape plan prepared by Urbis forms part of these submissions.

Clause 15.01-2L seeks to achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

The units contained within the Church building have been designed to comply with heating and cooling requirements without impacting the existing Church walls and roof. The conditioned internal spaces will be separated from the other unconditioned internal space with the use of closed-cell foam backing rods between new built forms and existing walls, allowing the current space to be easily reinstated at some future date if this is considered desirable.

The site has sufficient capacity to provide appropriate treatment measures (such as rainwater tanks) to off-set areas of hard-standing. A MUSIC modelling report (Xstruct) and Sustainable Design Assessment (Blue Bee) forms part of these submissions.

Clause 15.01-5L-01 seeks to achieve the identified preferred character in residential areas in Daylesford. The Daylesford-wide strategies include, as relevant, protect and enhance vistas, views and landmarks such as Wombat Hill, Cornish Hill, residential areas interfacing with the Vincent Street commercial area, and the churches and other spires, ensure that vehicle access and parking does not compromise the character and amenity of residential areas including discouraging the removal of street trees for cross overs and to encourage the retention and planting of vegetation, with a preference for indigenous plants except in precincts where exotic plants are also identified as being suitable.

As above, the proposed units will sit well below the existing Church spire to ensure it does not detract from the heritage fabric of the site. The use of skillion roofs further minimise the visual impact of the built form when viewed obliquely from the public realm and adjoining properties.

The proposal seeks to utilise the existing crossover and accessway running along the southern boundary of the site and the use of a basement carpark ensures the carparking facilities will not compromise the character and amenity of the area.

While the project arborist has determined that no on-site trees are worthy of protection (given their exotic species and low arboricultural value), the retention of trees throughout the site will ensure the green and leafy feel of the area is maintained and will assist in tempering views onto the built-form from the adjoining properties. By locating new built form away from all site boundaries, the proposal allows for ample opportunity for new landscaping (as shown on the accompanying landscape plan) to the satisfaction of the responsible authority.

The subject site is further identified within **Precinct 14** which seeks to ensure development maintains and enhances the historic qualities of the area and the garden settings of the dwellings.

The relevant strategies include:

Contribute to the preferred neighbourhood character by encouraging:

- *New buildings that respect the existing building forms, including roof profile, of the identified historic buildings.*
- *Building footings located outside vegetation root zones to enable space for the planting of substantial vegetation.*
- *Buildings designed to follow the contours of the site or step down the site.*
- *Buildings that conform to the predominant building heights in the area.*
- *Use of timber or other non-masonry materials and non-reflective corrugated iron roofing materials, particularly in streets where weatherboard predominates or materials and finishes with natural or earth-toned colours.*
- *The landscaping of gardens including substantial trees and shrubs.*
- *Retention of existing vegetation, especially on steeply sloping sites.*

The proposal responds as follows:

- The proposal seeks to retain the existing Church building to the front of the site and have designed the new buildings to follow the natural slope of the land to ensure the new building elements appear inconspicuous from the primary street frontage.
- As outlined within the arborist report, manageable impacts are proposed within the TPZ of the neighbouring Walnut (Tree 8) to the south – noting there will be no grade change (remain as per existing conditions) to the accessway ramp, permeable paving will be utilised within the TPZ and no cut to occur within the TPZ.
- A neighbouring mature Manna Gum (*Eucalyptus viminalis*) Tree 9 has since been removed in accordance with Planning Permit No. PLN/23/0024 (9 March 2023).
- The materials and finishes proposed for the new buildings are of timber-like cladding, corrugated iron roofing and brick to respect the existing brick and weatherboard materials in the street. Colours will be natural, muted and/or earth toned.
- The proposed buildings will have a maximum of two-storeys which adheres to the surrounding single and double-storey development of the area.
- There is ample opportunity for meaningful landscaping to be provided throughout the site as shown on the accompanying landscape plan.
- As above, there are no on-site trees worthy of retention. Notwithstanding, the retention of trees throughout the site will ensure the green and leafy feel of the area is maintained and will assist in tempering views onto the built-form from the adjoining properties.

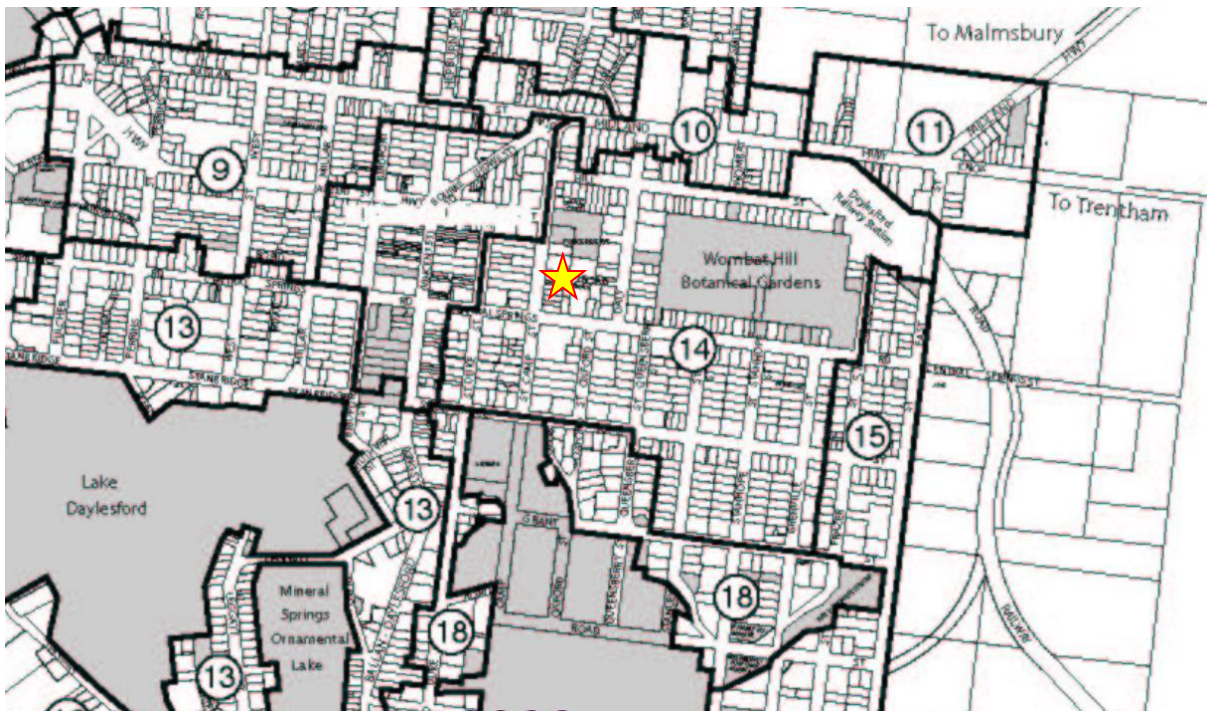


Figure 27 Extract of Daylesford Township character precincts - subject site starred

It is noted the subject site is situated outside of the Central Springs and Lake Daylesford Reserve map at **Clause 15.01-6L**.

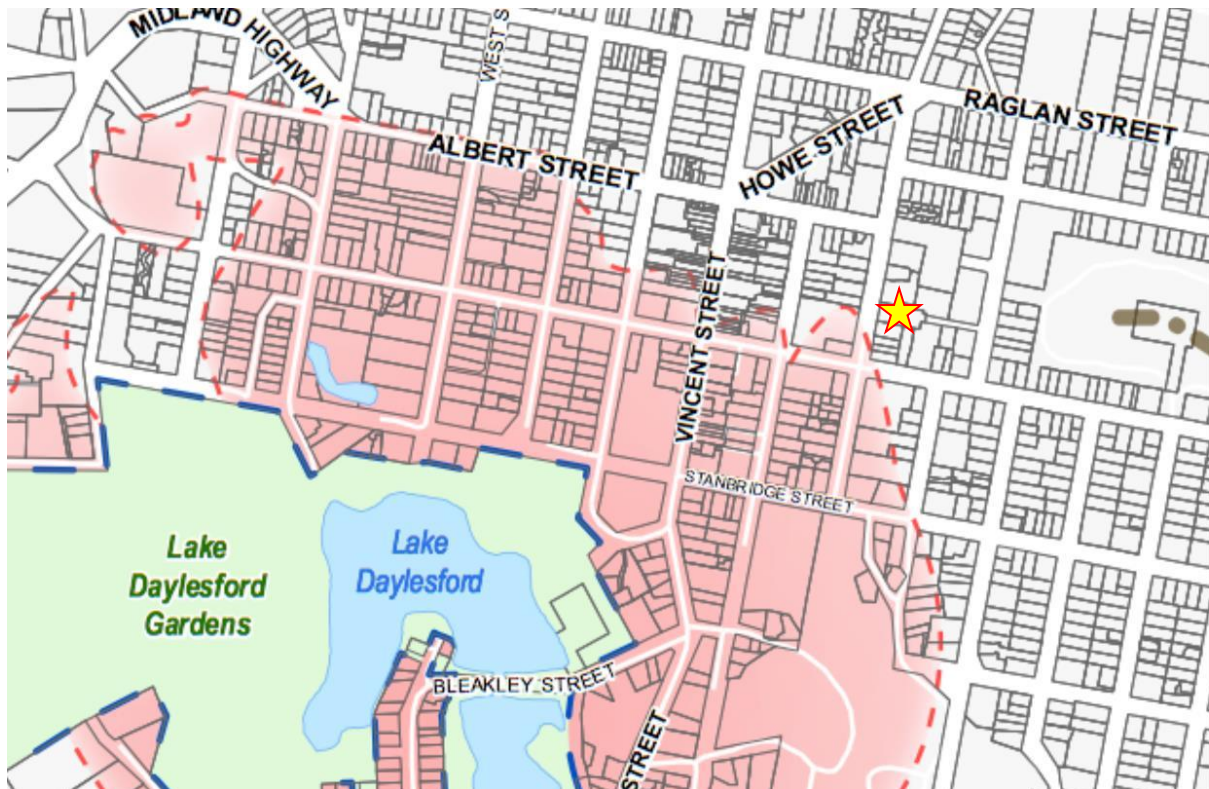


Figure 28 Extract of Central Springs and Lake Daylesford Reserve map - subject site starred

Clause 15.03-1L seeks to, as relevant, ensure new development is consistent with and interprets the significance of heritage places, design development to respect elements of the heritage place and surrounds including buildings, associated trees, garden settings, plantings, agricultural features within a landscape, and archaeological sites and promote building design that clearly and positively supports the heritage significance and distinguishes old from new construction through responsive siting, scale, massing, materials and detailing.

Policy also seeks to, as relevant:

Retention

- *Retain and conserve all heritage places of significance.*
- *Encourage the reconstruction or reinstatement of buildings or elements where there is documented photographic or other evidence.*
- *Encourage the retention and restoration of historic shop fronts, parapets, timber and metal details, recessed entry doors, window sill heights, decorative glazing details, original colour schemes and verandahs.*
- *Ensure the retention, reconstruction and repair of significant heritage streetscape features and infrastructure elements such as basement cellar access located in footpaths, blue stone kerb and channelling, bridges, drainage and water channels, gutters, laneways, pavements, protective railing, public statues and other similar features.*
- *Encourage the retention of interiors and decorative finishes where they contribute to the significance of the heritage place.*
- *Encourage the retention of the internal layout and detailing of an existing building and the significance of these elements to the heritage place.*

Demolition and Relocation

- *Discourage the demolition of a heritage place, unless the:*
 - *Demolition is minor in scale and will not adversely affect the significance of the heritage place.*
 - *Structural integrity of the heritage place has been lost and there are no options for structural stabilisation and remedial intervention.*
 - *Building fabric is in very poor condition.*
 - *Heritage significance has been lost to such an extent that reconstruction would be required to make the building habitable.*
 - *Proposed replacement building will not detract from the historic streetscape and any proposed additions are sympathetic to the existing building's scale and form and will not affect the significance of the heritage place.*

Gardens, Trees and Landscape Features

- *Conserve important gardens including culturally significant vegetation, trees and plantings, gardens, features and structures.*
- *Encourage the retention of significant trees in a heritage place.*
- *Site and design buildings and works to respect significant trees, plantings and significant garden layouts and provide for the ongoing health of the tree without intruding into the tree protection zone.*
- *Encourage replacement trees of the same species with advanced or mature specimens when significant trees have died.*
- *Protect and maintain significant agricultural structures such as outbuildings, drystone walls, farm buildings and ruins.*

- *Manage significant vegetation to preserve and enhance its contribution to the heritage place, including pruning, thinning and root control.*

The former St Andrews Church complex is of local historical, social, architectural and aesthetic significance.

Within the complex is the 1904 Church of primary significance which displays Gothic architecture, an imposing castellated tower and retains significant internal features such as the Church organ. It is noted that the 1863 Sunday School building to the rear of the Church was recently demolished due to damage sustained in a storm.

HISTORICAL DESCRIPTION

It was Jessie Leggatt who made a substantial contribution to the building of this church, the design having been chosen from 24 submissions. Clegg and Miller were the Architects, the foundation stone being laid in 1903 and the first service being held the following year.

In 1905, the present organ was installed. The approach ramp and steps were built later.

ARCHITECTURAL DESCRIPTION

A simply detailed, Early English Gothic church, having a small tower, sloping timber floor and vestry at the rear. The spire base is castellated and trimmed with gargoyles, but the tower has never had a bell. The walls are of red brick, the south elevation forming a pedestrian approach and being tuckpointed.

Inside, 5 hammer beam trusses are cross braced and carried on stone imposts with the lower chords formed by the rods. They support a timber lined ceiling with cast iron vents retaining their original dark and light stone colours. The floor slopes east to the choir stalls, precentor's chair, table, pulpit and organ. The woodwork, together with the pews, is original, the manner in which the choir stalls are fitted into a confined space being of interest. The hand pump for the organ remains.

LEVEL OF IMPORTANCE 'B'

A church of unusual design in its local context, prominent on the west face of Wombat Hill. It is in tact and in conjunction with the manse, former church and tennis court, is most picturesquely situated on a steeply sloping site. The cast iron lamp standard immediately to the south is also of note.

Figure 29 Extract of heritage citation H0280

The applicant relies on the expert opinion of Lovell Chen who has played an integral role in the design and layout of the internal Church alterations and external new buildings.

As outlined within the accompanying HIS, the project heritage consultant has formed the view that:

The proposal will provide a much-needed use for the church with minimal impact on heritage fabric. All significant internal features will be retained, including the raked timber floor, roof trusses and brackets, leadlight windows, timber joinery in the pulpit and choir stalls, organ, entry vestibule, side entry porch, front entry porch and tower. An understanding of the internal

volume will also be retained through the provision of several common areas. The conditioned units are a sustainable outcome which will assist with heating and cooling, insulation requirements, and fire separation, with minimal adaptive works required to the original fabric of the church...

The additions have been designed and sited to minimise the overall visual impact. Accepting that some visibility behind the church is inevitable, the presence of the additions on the site will not detract from the prominence of the church and will retain its setting and architectural qualities for which it is noted. They will also provide a sustainable use for the site which will secure the church's longevity...

The site works will retain a landscaped setting around the church and will also assist in concealing the new development at the rear over time. Hard paving is necessary for pedestrian and vehicle access across the site but has been minimised as best possible and designed to complement the materials of the church. The new driveway is a replacement of an existing condition and the permeable grassed surface assists in minimising hard surface areas. The contribution that the landscaping makes to the significance of the church complex will therefore be maintained.

Clause 15.03-2L seeks to ensure the protection and conservation of places of Aboriginal cultural heritage significance.

An approved CHMP has been issued for this site and forms part of this application.

The CHMP did not identify any Aboriginal cultural heritage on the site and concluded that no further testing and/or investigation of the site is required.

Clause 17.04-1S seeks to encourage tourism development to maximise the economic, social and cultural benefits of developing the state as a competitive domestic and international tourist destination.

As above, the adaptive reuse of the former Church building and construction of group accommodation units on a site within walking distance to the town centre and major attractions adheres to consolidation objectives envisioned for the Daylesford Township and facilitates the tourism market in this area.

ZONE

Pursuant to **Clause 32.09-2** Neighbourhood Residential Zone (NRZ), a permit **is required** to use land for Accommodation including Group Accommodation (Section 2 Use).

Pursuant to **Clause 32.09-9** a permit **is required** to construct a building or construct or carry out works for a Section 2 Use.

It is noted the maximum building height requirements and minimum garden area requirements under the NRZ are not applicable to group accommodation buildings.

The objective of **Schedule 1 to the NRZ (Daylesford Neighbourhood Residential Precincts)** seeks to ensure development achieves the identified preferred neighbourhood character for Daylesford.

Among other considerations, the NRZ1 requires the following decision guidelines to be considered, as appropriate, by the responsible authority:

- *Whether the design, height, setback, appearance and interface of the proposed buildings and works is appropriate within the streetscape and to any heritage place on the land or adjacent land.*
- *Whether the proposed landscaping enhances the existing landscape character and vegetation in the precinct.*
- *Whether the significant elements of the precinct are retained including those elements that contribute to its setting.*

The proposal responds as follows:

- The proposal seeks to retain the existing Church building to the front of the site and have designed the new buildings to follow the natural slope of the land to ensure the new building elements appear inconspicuous from the primary street frontage.
- The materials and finishes proposed for the new buildings are of timber-like cladding, corrugated iron roofing and brick to respect the existing brick and weatherboard materials in the street. Colours will be natural, muted and/or earth toned.
- The proposed buildings will have a maximum of two-storeys which adheres to the surrounding single and double-storey development of the area.
- There is ample opportunity for meaningful landscaping to be provided throughout the site. A landscape plan can be provided by way of condition on any permit that may issue.

OVERLAYS

Clause 42.01 Environmental Significance Overlay (Schedule 1 and 2)

The **ES01 (Special water supply catchment protection)** provides the following specific objective:

- *To ensure all development is undertaken in a manner that protects, restores and enhances natural resources and environmental systems and seeks to eliminate detrimental impacts on the quality and quantity of water in the catchment, to ensure the long term plentiful supply of quality water.*

Pursuant to Clause 42.01-2 a permit **is required** to construct a building or carry out work. This does not apply if a schedule to the Environmental Significance Overlay specifically states that a permit is not required.

Under the ES01, a permit is not required to construct a building or construct or carry out works that are located more than 30 metres away from a waterway, if all of the following are met:

- *The building and works do not generate any additional wastewater unless it is connected to a reticulated sewerage system.*
- *Any site cut required is less than one metre in depth.*
- *Any site cut required is less than 300 square metres in area.*
- *No stormwater is discharged within 100 metres from a waterway unless it is discharged into the street drainage system or a legal point of discharge.*

While the subject site is located in excess of 30 metres from the closest waterway (approx. 47 m from Cobblers Gully Creek) and the site has access to reticulated sewerage, the proposed groundworks exceed 300 sqm therefore a permit **is required** for buildings and works under the ES01.

The ES01 also states that a permit is **not required** to remove, destroy, or lop vegetation including dead vegetation unless the removal, destruction or lopping involves any native vegetation on land within 30 metres of a waterway.

The site is not within 30 metres of a waterway and benefits from the site area exemption for native vegetation removal pursuant to Clause 52.17.

The **ES02 (Mineral springs and groundwater protection)** provides the following specific objective:

- *To protect the mineral springs, their aquifers and their environs, private domestic bores and water bores that provide town water supply from the impacts of effluent and drainage.*

A permit **is required** under the ES02 as the buildings and works will result in changes to surface or groundwater runoff.

As Schedule 2 to the ESO does not specifically state that a permit is not required to remove, destroy or lop any vegetation, including dead vegetation, a permit is therefore **required** as per the parent control.

As per the accompanying arboricultural report, Tree 12 (Sycamore) and Tree Group G2 (English Elm) are proposed for removal. Both trees are **exempt** from a permit pursuant to Clause 42.01-3 as they are both planted species and of non-native origin.

Notwithstanding, both trees exhibit poor health and/or structure, with the roots of Tree 12 lifting up the paving to the front of the Church. It is considered the removal of both trees is appropriately off-set by the conscious effort to retain the majority of on-site vegetation throughout the site. The proposed replacement planting (as shown on the accompanying landscape plan) ensures the site will continue to respond to the landscape and environmental character of the area.

Clause 43.01 Heritage Overlay (H0280)

Pursuant to **Clause 43.01** (Heritage Overlay), a permit **is required** to demolish or remove a building including partial demolition. A permit is also required construct a building or to construct or carry out works. Schedule H0280 (Former Saint Andrews Presbyterian Church, with former Presbyterian Church/Sunday School Hall at rear, 19A Camp Street, Daylesford) turns on the permit triggers for external paint controls, internal alteration controls, tree controls and solar energy system controls.

The applicant relies on the expert opinion of Lovell Chen who has played an integral role in the design and layout of the internal Church alterations and external new buildings.

As outlined within the accompanying HIS, the project heritage consultant has formed the view that the adaptive reuse of the Church building and new buildings to the rear provide an acceptable response to the Heritage Overlay and local heritage policy at **Clause 15.03-1L**.

PARTICULAR PROVISIONS

Clause 52.06 Car Parking

Twelve (12) car spaces are provided within the basement carparking which equates to one space per unit. A traffic assessment and swept-path analysis prepared by Traffix Group forms part of these submissions which details the proposal's compliance with the requirements of **Clause 52.06-9**.

The crossover and existing accessway to Camp Street towards the south-west corner of the site will be retained.

The applicant relies on the expert opinion of Traffix Group in respect to the carparking and accessway arrangements for the site. Further detail is provided within the accompanying traffic assessment.

Clause 53.18 Stormwater Management in Urban Development

The objective of Clause 53.18 is to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

Pursuant to Clause 53.18-5, the stormwater management objectives for buildings and works are:

- *To encourage stormwater management that maximises the retention and reuse of stormwater.*
- *To encourage development that reduces the impact of stormwater on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.*

- *To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.*
- *To ensure that industrial and commercial chemical pollutants and other toxicants do not enter the stormwater system.*

Pursuant to Clause 53.18-6, the objectives for site management are:

- *To protect drainage infrastructure and receiving waters from sedimentation and contamination.*
- *To protect the site and surrounding area from environmental degradation prior to and during construction of subdivision works.*

The units contained within the Church building have been designed to comply with heating and cooling requirements without impacting the existing Church walls and roof. The conditioned internal spaces will be separated from the other unconditioned internal space with the use of closed-cell foam backing rods between new built forms and existing walls, allowing the current space to be easily reinstated at some future date if this is considered desirable.

The site has sufficient capacity to provide appropriate treatment measures (such as rainwater tanks) to off-set areas of hard-standing. A MUSIC modelling report (Xstruct) and Sustainable Design Assessment (Blue Bee) forms part of these submissions.

GENERAL PROVISIONS – CLAUSE 65 (DECISION GUIDELINES)

Clause 65 Decision Guidelines

The proposal complies with the decision guidelines of **Clause 65** as follows:

- The Planning Policy Framework and Local Planning Policy Framework, including MPS and local policies have been complied with.
- The Zone, Overlay, or provision objectives have been complied with and matters required to be considered have been appropriately addressed.
- There will be no unreasonable impact upon the amenity of the area.
- There will be no land degradation or impacts upon salinity or reduced water quality.
- There will be no impact on the stormwater within and exiting the site.
- There will be no loss of significant vegetation and landscaping can be undertaken.

CONCLUSION

In the overall analysis the proposed development is worthy of support for the following reasons:

- The proposed development is in keeping with the suggested character profile of the area.
- The proposed development is complimentary to existing built-form and heritage fabric stock whilst catering for urban consolidation.
- All relevant provisions and design requirements have been considered and met, and the proposal satisfies Local and State policy outcomes.
- The proposed landscaping is sufficient in upholding the vegetative profile of the area.
- The provision of open space allows the retention of existing canopy trees.
- The proposal will support the pattern of uniformity with built form and respects the character in this locality.
- The proposal has been designed to provide excellent internal amenity for future occupants and will not result in unreasonable off-site amenity impacts.

We believe the proposal is reflective of the density, built form and siting objectives outlined within the Hepburn Planning Scheme and subsequently recommend the Council support and approve the planning permit application.

Clement-Stone Town Planners

19A CAMP STREET, DAYLESFORD

PROPOSED REDEVELOPMENT HERITAGE IMPACT STATEMENT

December 2022

Prepared for

MAIN AND CAMP PTY LTD

Prepared by

LOVELL CHEN



Quality Assurance Register

The following quality assurance register documents the development and issue of this report prepared by Lovell Chen Pty Ltd in accordance with our quality management system.

Project no.	Issue no.	Description	Issue date	Approval
9826	1	Draft Heritage Impact Statement	15/12/22	PL
9826	2	Final Heritage Impact Statement	16/12/22	PL

Referencing

Historical sources and reference material used in the preparation of this report are acknowledged and referenced as endnotes or footnotes and/or in figure captions. Reasonable effort has been made to identify and acknowledge material from the relevant copyright owners.

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Cover image: 19a Camp Street, Daylesford viewed from the opposite side of Camp Street

Source: Lovell Chen

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1.0 INTRODUCTION

This Heritage Impact Statement (HIS) has been prepared for Main and Camp Pty Ltd to accompany a permit application to Hepburn Shire Council for the proposed redevelopment of the Former St Andrew's Presbyterian Church at 19a Camp Street, Daylesford (Figure 1). The proposal involves the conversion of the church into two one-bedroom apartments with common areas and the construction of two two-storey apartment blocks east of the church, accommodating ten one-bedroom apartments and an underground garage.

In preparation of this HIS, reference has been made to the following documents:

- Architectural drawings prepared by Robin Larsen Design, dated 14.12.22 and numbered A00 to A30
- Architect's Design Statement prepared by Robin Larsen Design, dated 10.11.22
- *Arboricultural and Impact Assessment Report, 19A Camp Street, Daylesford*, prepared by Tree Logic and dated 3 May 2022
- *St Andrews (Former) Presbyterian Church, Camp Street, Daylesford, Conservation Management Plan* prepared by Lovell Chen and dated February 2006

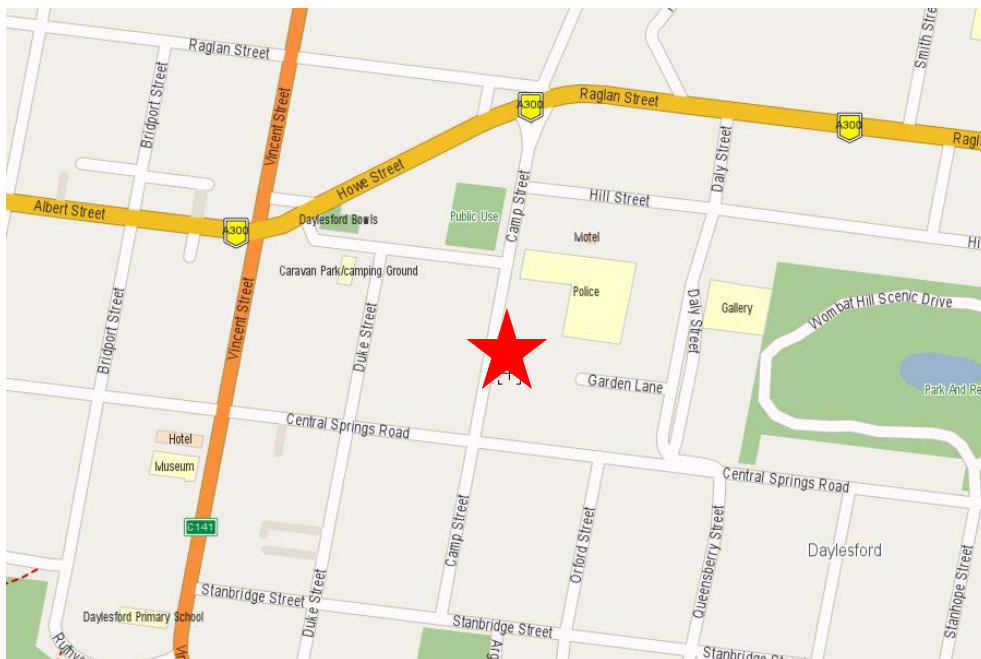


Figure 1 Plan showing the location of the subject site, indicated by the red star
Source: www.street-directory.com.au

1.1 Background to the application

In 2003, a planning application for redevelopment of St Andrew's Presbyterian Church (2003/7675) was refused by Hepburn Shire Council on the grounds that it was inconsistent with State and Local Planning Policy frameworks, the significant heritage values of the site and the surrounding heritage precinct. The decision was reviewed by the Victorian Civil and Administrative Tribunal (VCAT), which upheld the decision to refuse the application (P2924/2003). The proposal involved demolition of the Sunday school

(1863 timber church) and construction of eight dwellings behind the church, comprising seven single bedroom units and one two-bedroom unit. Fifteen car spaces were also proposed along the rear (east) site boundary. No works were specified to adaptively reuse the church.

In 2006 a further planning application for redevelopment of the property was lodged with Hepburn Shire Council. The proposal involved demolition of the Sunday school, conversion of the church into three one-bedroom units and the construction of four freestanding structures behind the church, comprising two one-bedroom units, three two-bedroom units and one three-bedroom unit. Ten car spaces were also integrated with the landscape around the building forms. Hepburn Shire granted a planning permit (2006/9058) for the development in 2006 with conditions, including several pertaining to landscaping, design of the new building and conservation works to the church. It is understood that this permit has now expired and was never acted upon.

2.0 HERITAGE CONTROLS AND LISTINGS

2.1 Hepburn Planning Scheme

The Former St Andrews Presbyterian Church, with former Presbyterian Church/ Sunday School Hall at rear, 19a Camp Street, Daylesford is individually identified as HO280 in the Schedule to the Heritage Overlay (HO) of the Hepburn Planning Scheme. The heritage controls apply to the buildings located on the site and the mapped land extent; external paint controls, internal alteration controls and tree controls apply to the site.

The property is also included in the Daylesford Township Church Precinct identified as HO696 in the Schedule. The St Andrews Presbyterian Church and the Sunday School Hall (former Presbyterian Church) are identified as B grade buildings in the *Daylesford and Hepburn Springs Conservation Study 1985* prepared by Perrot Lyon Mathieson in association with Andrew Ward. It is noted, however, that the Sunday School Hall has been demolished.

There are also a number of heritage places that abut or are in the vicinity of the site, including Wombat Hill Garden Heritage Precinct located to the east and several other individually significant heritage places, including properties on the Victorian Heritage Register.

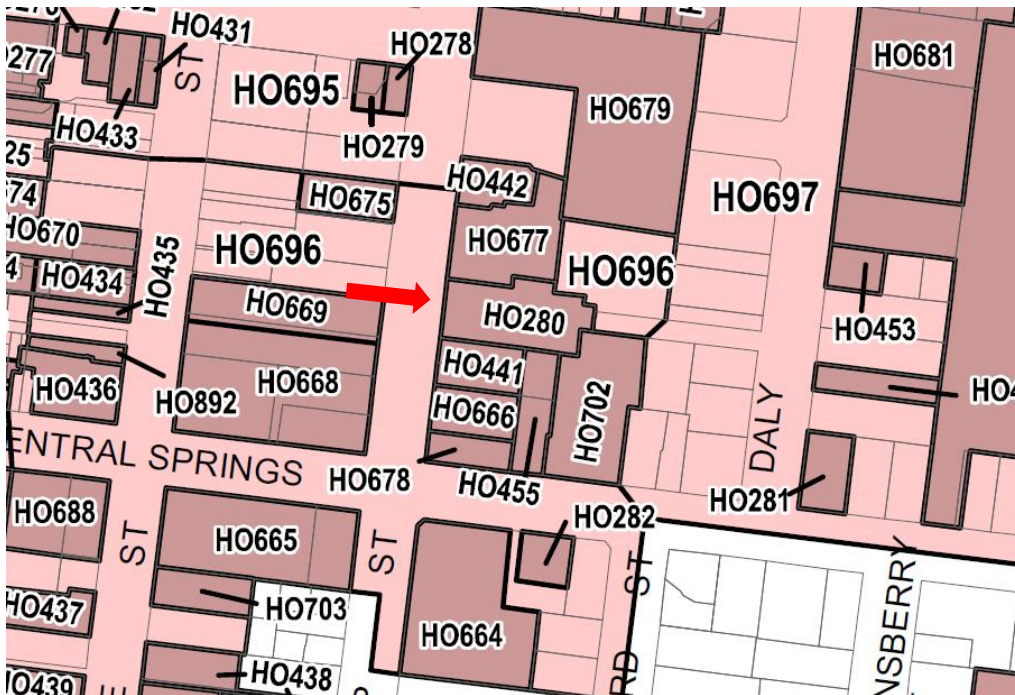


Figure 2 Detail of the HO map with the subject site indicated by the red arrow
Source: Hepburn Planning Scheme

2.2 Statement of significance

The heritage citation for the former St Andrew's Presbyterian Church was prepared as part of the *Daylesford and Hepburn Springs Conservation Study* (1985). The following statement of significance for the place was included in the citation:

A church of unusual design in its local context, prominent on the west face of Wombat Hill. It is intact and in conjunction with the manse, former church and tennis court, is the most picturesquely situated on a steeply sloping site. The cast iron lamp standard immediately to the south is also of note.¹

A separate citation for the Sunday School Hall (1863 timber church) prepared in the same study includes the following statement of significance for the place:

An early public building in Daylesford, of importance to the history of the Presbyterian Church in the parish. It is the only timber church building in the Churches Precinct and is an essential component of the Presbyterian Church complex.²

The citation for the Daylesford Township Church Precinct (Church Street Precinct) prepared for the *Daylesford and Hepburn Springs Conservation Study* (1985) includes the following statement of significance for the precinct:

¹ 1985, *Daylesford and Hepburn Springs Conservation Study*, Perrott Lyon Mathieson Pty Ltd in association with Andrew Ward

² 1985, *Daylesford and Hepburn Springs Conservation Study*, Perrott Lyon Mathieson Pty Ltd in association with Andrew Ward

The essential characteristics of this precinct which are responsible for its importance at a state-wide level include the architecture and juxtaposition of the churches themselves, its scenic location which overlooks the Vincent Street centre, the historic garden settings and by no means least, its degree of intactness.³

It is noted, however, that the precinct is only identified in the Heritage Overlay (at a local level) and not on any state or national heritage registers or lists.

2.2.1 CMP identification of significance

The *St Andrews (Former) Presbyterian Church, Camp Street, Daylesford, CMP* prepared by Lovell Chen in February 2006 assessed the former St Andrew's Church complex as being of local historical, social and aesthetic/architectural significance. It further identifies the following significant elements in Section 5.4:

The elements of primary significance are:

- The 1904 church to the extent of its original fabric, both externally and internally.

The elements of contributory significance are:

- The 1863 church to the extent of its original fabric, both externally and internally. [This building, also known as the Sunday School, has been demolished]
- The mullock heap.
- The soft landscape elements, as a collection, including the elms, pittosporum and sycamores, and shrubs and hedge-type plants.
- The hard landscape elements, such as the paths, retaining walls and south vehicle access.

The Statement of Significance included in the CMP is as follows (noting that this statement references the original church/Sunday School on the site which has since been demolished):

St Andrew's Church complex is of local historical significance as a component of the Daylesford Churches Precinct which developed on the flanks of Wombat Hill from the early 1860s. The 1863 timber church was the first building on the site, and one of the first church buildings in the precinct, although the nearby contemporary churches were generally on a grander scale, more architecturally distinguished, and of more durable masonry materials. When constructed in 1904, the later Presbyterian Church building made a more substantial physical and architectural contribution to the precinct, and was more prominent and visible than the earlier church. The 1909 manse further enhanced the presence and position of the Presbyterian Church within the precinct generally, and in Camp Street.

St Andrew's Church complex is also of local historical and social significance due to its long (c.150 years) association with the Presbyterian community in Daylesford. The property is additionally significant for its association with Mrs Jessie Leggatt,

³ 1985, *Daylesford and Hepburn Springs Conservation Study*, Perrott Lyon Mathieson Pty Ltd in association with Andrew Ward, pg. 54-58

the principal benefactor behind the early twentieth century buildings (1904 church and 1909 manse).

The 1860s mullock heap is of local historical significance as an archaeological relic or site which demonstrates aspects of local gold mining activity at about the time the site was first developed by the Presbyterian Church. The heap is additionally a physical reminder of the environmental and landscape impacts of mid-nineteenth century gold mining in Central Victoria.

With regard to architectural and aesthetic significance, the 1863 timber church is a simple vernacular mid-Victorian timber building, albeit not one which is particularly distinguished architecturally. The vernacular origin of the building is demonstrated through the construction materials, the steep gabled roof (for which some shingles survive in situ), and the simple internal planning. Alterations and additions, however, have diminished this aspect of significance. The remnant light fittings are of note. While the building is reputedly the only remaining timber church building of this period in Daylesford, it is nevertheless not a building which makes a significant visual contribution to its context (Camp Street or the Churches Precinct) due to its siting and lack of visibility.

The 1904 St Andrews Church is in the Later Gothic: Free Decorated style with considerable influence from late Victorian and Edwardian Gothic. It is notable for the composition of its elevated west façade, central open porch, prominent castellated octagonal bell tower with copper clad spire, south bay with pyramidal roof, and large west gable with a steeply pitched roof and tripartite arrangement of pointed arch windows. The separation of the spire from its octagonal brick tower, the verticality of the liturgical west front, the patterning of the dressings against the brickwork and other details, successfully align the church with the Late Gothic Revival and turn of the century Arts and Crafts and Edwardian mode. With regard to the architects, Clegg & Miller, St Andrews is a competent example of a number of churches designed by the firm in Central and Western Victoria, including others in the Later Gothic style. The church is additionally an unusual design in the local context, where Early English Gothic prevails for the nearby 1860s churches.

St Andrews Church also derives considerable significance from its picturesque siting, its prominent location in Camp Street, and its elevated position on the west flank of Wombat Hill which affords distant views of the building. The 1904 pipe organ is additionally of significance, being a rare surviving example of an organ constructed by the E Cornwall Cook, a Victorian company of organ builders, and believed to be substantially intact although repairs and restoration work have been undertaken. It is also a component of Australia's internationally recognised collection of well-preserved historic organs.⁴

2.3 Non-statutory listings

The former St Andrew's Presbyterian Church and Cook Organ are classified by the National Trust of Australia (Victoria) as a place of local significance (B5906). There are no statutory requirements as a result of this classification.

⁴ Lovell Chen, *St Andrew's (Former) Presbyterian Church, Camp Street, Daylesford, Conservation Management Plan*, 2006, p.77-78

The National Trust classification also contains the following statement of significance:

Church Statement of Significance: A brick church of 1903-4 designed by Clegg & Miller, and distinctive for the composition of its west front. This is elevated high above the street and incorporates an open porch flanked by an octagonal bell tower with copper spire and a lower projection with pyramidal roof. The interior, which has a sloping floor, focusses upon the apse.

Cook Organ Statement of Significance: A two-manual organ of 11 speaking stops built about 1905 by the Victorian organ builder E Cornwall Cook and restored in 1906 by George Fincham & Son. It is the only example of Cook's work to survive intact. The instrument, which is sited in the apse and the focal point of the interior, retains its original tonal scheme, double-tower case with painted facade pipes, and extended tracker action console.⁵

⁵ 1989, St Andrew's Presbyterian Church & Organ B5906, National Trust of Australia (Victoria)

3.0 SITE HISTORY AND DESCRIPTION

The property is located on the east side of Camp Street and constitutes the former St Andrew's Presbyterian Church complex (Figure 3). The complex originally included the 1904 church, the 1863 timber church/Sunday school which was originally located at the rear, and the Manse to the north (Figure 4). The Manse has previously been subdivided from the site. The earlier church/Sunday school building was a single storey timber building with a gabled corrugated iron roof (Figure 5). This latter building was recently damaged beyond repair in a storm event and has since been demolished upon direction by Hepburn Shire. The 2006 CMP also identifies a mullock heap (mine overburden dump) on higher ground to the east of the Church, partly on the subject site (Figure 6 and Figure 7). It is believed to date from the 1860s when the Wombat Hill Company was active in the area. Today the heap is partly vegetated and partly grassed.

St Andrew's Presbyterian Church was built in the Early English Gothic style in c.1903-4 to the design of Clegg & Miller (Figure 8). The grand, double height building is constructed of red face brick with a steeply pitched slate clad roof. Its principal façade to Camp Street incorporates a large octagonal tower with a prominent copper spire and castellated base to the north, a lower castellated tower to the south, stone window and door architraves, large arched stained-glass windows, and a large central entryway (Figure 8). The side elevations of the church are characterised by arched stained-glass windows, brick buttresses and a side entry vestibule to the south (Figure 9). Attached to the rear east elevation is a vestry with a steeply pitched iron clad roof and timber doors to the south and east elevations (Figure 10).

Internally the church contains a timber floor and hammer beam trusses that are cross braced and carried on stone imposts.⁶ The brick walls have a rendered paint finish. The rear western wall contains the original pipe organ built in 1904 by E Cornwall Cook (Figure 12).⁷ The organ is an interior focal element that sits behind the timber pulpit and is flanked by timber choir stalls. The original timber pews and other furniture, together with plaques and artworks, have been removed from the church prior to its sale.

The church has been subject to frequent vandalism internally and externally since its closure, and is therefore in a deteriorated condition, including damage to the organ, broken windows and graffiti to walls (Figure 13).

Due to the steep slope of Wombat Hill that rises to the east, the church is elevated above road level and forms a prominent element in the streetscape. It sits close to the street boundary above stone retaining walls, steps and a simple garden. A brick retaining wall is located to the rear and north sides of the church which is at a lower level than the sloping land and mullock heap to the east. Since the removal of the 1863 timber church, the rear of the site has been largely cleared immediately behind the church, while vegetation remains toward the rear (east) of the site and on the mullock heap (Figure 11).

⁶ 1985, 'Presbyterian Church' 19 Camp Street, Daylesford and Hepburn Springs Conservation Study, Perrott Lyon Mathieson Pty Ltd in association with Andrew Ward

⁷ 1989, St Andrew's Presbyterian Church & Organ B5906, National Trust of Australia (Victoria)



Figure 3 Recent aerial image of the property indicated with the red arrow
Source: Nearmap, 20 December 2021



Figure 4 St Andrews Church and Manse, Daylesford, postcard undated (c. early twentieth century)
Source: Sovereign Hill Museums Association



Figure 5 The former Sunday School at the rear of the church, as depicted in the place citation
Source: Daylesford and Hepburn Springs Conservation Study 1985



Figure 6 Part of the mullock heap to the rear (east) of the property, indicated by the red arrow.
Note that the remainder of the mullock heap is located on adjacent properties

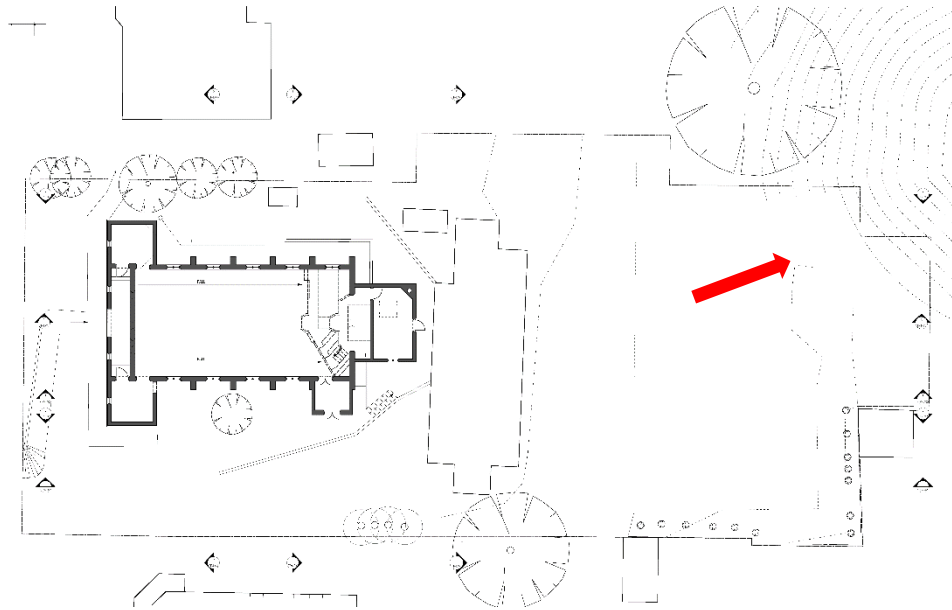


Figure 7 Site plan of the St Andrews Church Complex dated 2006, prior to the demolition of the timber church. The curved lines at right indicate the Mullock Heap
Source: William Boag Architects



Figure 8 West elevation of St Andrew's Presbyterian Church from Camp Street



Figure 9 South elevation of the Church



Figure 10 Rear (east) elevation of the Church



Figure 11 Heavily vegetated land to the rear (east) of the property and part of the mullock heap (left), noting that the remainder is located on adjacent properties



Figure 12 Interior of the Church comprising the original organ and timber roof trusses



Figure 13 Vandalism to the Church interior and windows

3.1.1 Streetscape context

Camp Street contains several church buildings interspersed by Victorian and Edwardian residential dwellings (Figure 14). Development on the east side of the road, being the western slopes of Wombat Hill, are elevated above street level and development on the west side of Camp Street sit at road level or just below (Figure 15). Immediately north of the subject property is The Manse which was originally constructed c. 1908-09 as accommodation for the Minister of St Andrew's Presbyterian but has since been converted to holiday accommodation (Figure 16). Other churches in the vicinity within the Daylesford Township Church Precinct include the Daylesford Community Church at 16a Camp Street, the Anglican Church of Daylesford at 54 Central Springs Road, St Peters Catholic Church at 13 Duke Street, and Catholic Care at 13 Camp Street among others. It is understood that all the churches on Camp Street continue to operate, with the exception of St Andrews being the only church to have ceased its original function.



Figure 14 Residential development immediately south of the Church, on the east side of Camp Street including 23-25 Camp Street (left) and 27 Camp Street (right)



Figure 15 Residential development on the opposite (west) side of Camp Street including 22 Camp Street (left) and 20 Camp Street (right)



Figure 16 The Manse immediately north of the subject property

4.0 PROPOSAL

The proposal involves the conversion of the former St Andrew's Presbyterian Church into two one-bedroom apartments with common areas and the construction of two freestanding two-storey additions east of the church, accommodating ten one-bedroom apartments and an underground garage. The works to the church and new works to the east of the church are described in detail below.

4.1.1 Church works

The works to the church are predominantly internal and will enable its conversion into two one-bedroom apartments with common areas. No changes are proposed to the principal façade addressing Camp Street, nor to the north, south or west external walls of the church, maintaining its overall street presentation. Repair works to rectify damage and restore the church's condition will be undertaken, including the replacement of damaged leadlight windows, repairs to the slate roof, flashings and rainwater goods, timber doors and joinery internally, and repointing of brickwork where necessary. The full scope of works will be determined in the detailed design phase, however, the intention is to repair damage and restore the church's condition to provide a positive conservation outcome.

Partial demolition of the internal timber floor is required for the construction of new concrete footings beneath the church, comprising nine 1.5 x 1.5m openings. The removed timber boards will be salvaged and reinstated around the new steel structure that adjoins the concrete footings once installed. The raked timber floor will also be retained under the new levelled floor. Partial demolition of the north roof slope is required to accommodate four rectangular skylights and four solar tubes and a new opening in the north elevation of the vestry will be made for a new door. Due to poor condition and rotting, the timber louvres in the spire will be removed and replaced with new timber louvres to match existing.

Within the church, two conditioned units will be constructed through the introduction of lightweight curved partitioning walls. The units will each comprise two levels supported by a steel structural frame. The walls and floor plates have been carefully detailed to sit independent of the external building fabric, lightly touching the church walls via an air seal and timber skirting fixed to the new floor at ground level. At first level the floor plate is set back from the external walls by 600mm to the north and around the southern windows. The levels are accessed by staircases within each unit. Services for the new units will mostly be concealed within the new lightweight walls and ducted heating and cooling units will be positioned in an inconspicuous location, minimising impact on the church fabric where possible.

An open third level will provide a communal space for visitors above the conditioned units. The timber floor will sit above the retained timber brackets and will extend to the north and south walls. The level will be accessed via two spiral staircases at each end of the church. Glass floors will be constructed at the north end aligned with the skylights above to provide natural light into the apartments below. Glazed balustrades will extend along the east and west edge of the new timber floor. The material palette of new interior works includes white painted plasterboard walls, black steel spiral stairs, and hardwood timber floors. A new black steel spiral staircase will be constructed in the spire to access the top level and a bench seat will be constructed at that level.

Internal church features will be retained as part of the proposal including the timber joinery around the pulpit and choir area east of the church, the church organ, and the timber roof trusses and brackets, as well as all stained-glass windows. Interior spaces including the entry vestibule, principal porch entry, east side porch entry and the vestry will also be retained. The vestry will be used as a common area.

Externally, a timber deck will be constructed to the north of the church, supported by cantilevered steel structure that is independent of the church exterior. It will be covered by a metal clad awning overhead. The deck is approximately 6.6m in width and partially spans the church and vestry exterior, accessed via the new vestry door. The deck will extend approximately 3.6 metres to the north.

4.1.2 New work

Behind the church, to the east of the site, two freestanding apartment blocks will be constructed comprising four apartments in building one (the westernmost building) and six apartments in building two (the easternmost building). The blocks have been designed to follow the natural topography of the site, which rises steeply to the east. They will each comprise two storeys, plus a garage partially located below ground under building two. Overall heights vary due to the landscape which requires cut and fill to accommodate the new buildings, however, the maximum building height from the excavated ground level is approximately 7.8m for building one and approximately 9.8m for building two.

Building one, being the closest to the church, incorporates a minimum setback of 3.3m from the south-east corner of the vestry, which increases at other points due to the angled orientation of the building. It has a minimum setback in the order of 7m from the north title boundary (noting that the title boundary steps out to the north) and a minimum setback in the order of 7.5m from the south title boundary. Building two is further set back from the church in the order of 12.5m at the closest southern point of the building. It incorporates a minimum setback in the order of 2.9m from the north title and south title boundaries.

Both buildings adopt a contemporary design comprising low rectangular forms. They will contain skillion roofs clad in Colorbond corrugated steel which slope up to the east, following the topography. The apartments will be orientated north-south to maximise daylight and feature outdoor space in the form of balconies or paved terraces at the end of each apartment. External concrete stairs with a woodland grey render finish will provide access to the upper-level apartments and feature powder coated vertical

steel balustrades. The skillion roof form extends past the building to cover the external stairs and stair landings and will be supported by steel V columns and timber posts. Windows throughout will be contemporary with powder coated aluminium frames in a woodland grey finish to match the colour of new rainwater goods. The building facades incorporate Austral Hawthorn black brick, horizontal and vertical timber cladding in a natural finish and Scyon Axon vertical cladding painted in Dulux ecology green.

4.1.3 Site works

To enable the construction of the two additions, the rear of the site will be excavated as part of the site cut and fill, including the small portion of the mullock heap on the subject site (noting however that the remainder of the mullock heap is located on adjoining land). The existing vegetation in the front setback of the church will be retained, along with most of the hard landscaped elements, with the exception of some changes to the southern entry.

To access the garage at the rear of the site, the existing driveway along the south site boundary will be replaced with a new driveway, aligned with the existing crossover. The driveway will have a permeable grassed surface and will incorporate a car passing area that is 6.1m at its widest point. At street level, the non-original brick piers and concrete steps will be removed to facilitate a widened driveway entrance and will be reconstructed to the width of the new driveway.

During construction and to accommodate the driveway all site trees will require removal, the majority of which were assessed as being in poor condition in the *Arboricultural and Impact Assessment Report* prepared by Tree Logic and dated 3 May 2022.

As part of the proposal, new landscaping will be incorporated into the site, including several brick paved pedestrian paths, steps, stone and brick retaining walls, and garden bed and plantings.

5.0 ASSESSMENT OF HERITAGE IMPACTS

Since it ceased its function as a church in 2002, the site has remained unused and has fallen into a state of disrepair with frequent trespassing and vandalism occurring. The current proposal aims to adapt the church in a compatible and sensitive manner in order to secure a long-term use, improve the building condition and avoid further deterioration.

To achieve a new use, a level of intervention is required into the church fabric, which has been carefully designed and guided by the heritage significance of the place, with regard for the policies of the 2006 CMP and the relevant heritage provisions of the Hepburn Planning Scheme. To sustain the project financially, new development is proposed to the rear of the site, east of the church building. This has likewise been carefully designed to minimise visual impact on the site and to present as a discrete and complimentary form behind the church.

The outcome of the proposal will retain and revive the church, its significant internal features and its strong presentation to the east side of Camp Street, while securing its longevity through a sustainable new use and preventing further deterioration and vandalism.

5.1 Hepburn Planning Scheme

The Former St Andrews Presbyterian Church is an individually significant place which is subject to the Heritage Overlay within the Hepburn Planning Scheme. Accordingly, the proposal has been assessed against the relevant heritage provisions included in the Hepburn Planning Scheme in relation to individually significant places, including Clause 15.03-1L 'Heritage' and Clause 43.01 'Heritage Overlay'.

5.1.1 Church works

The proposed work to the Former St Andrews Presbyterian Church includes partial demolition to the interior, north elevation and north roof slope, construction of two new independent conditioned units with a common attic level internally, and other minor alterations to enhance the usability and appreciation of the internal space.

The decision guidelines included at Clause 43.01 as directly relevant to the Church works are as follows:

- The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.
- Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy.
- Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place.
- Whether the proposed works will adversely affect the significance, character or appearance of the heritage place.

The local heritage strategy at Clause 15.03-1L for significant places as relevant to the proposal is as follows:

Retention

Retain and conserve all heritage places of significance.

[...]

Encourage the retention of interiors and decorative finishes where they contribute to the significance of the heritage place.

Encourage the retention of the internal layout and detailing of an existing building and the significance of these elements to the heritage place.

Demolition and Relocation

Discourage the demolition of a heritage place, unless the:

- Demolition is minor in scale and will not adversely affect the significance of the heritage place.

The Former St Andrews Church complex is of local historical, social, architectural and aesthetic significance. Within the complex is the 1904 Church of primary significance; noting that the 1863 church was recently demolished due to damage sustained in a storm. The 1904 church is a prominent building on the east side of Camp Street which is enhanced through its elevated position, grand scale, landscaped setting, and Gothic architecture with imposing castellated tower. It also retains significant internal features, including the church organ.

Exterior

With regard for the elements of significance identified above, the proposal will retain the church as it presents to Camp Street, including the external form and architectural detailing and its elevated position, along with internal features and an understanding of the internal volume. External alterations to the church are of a minor nature and are confined to the north elevation, where the church is built

closer to the boundary and is partially concealed within the streetscape by the proximity of The Manse, landscaping and its prominent tower. This is an appropriate location to site new works that is responsive to the site conditions, streetscape context and key views from Camp Street. The repair works to be undertaken will improve the church's condition and presentation, providing a positive heritage outcome and prevent further deterioration (refer to the existing conditions included at Appendix B).

The external changes include partial removal of roofing fabric to accommodate new skylights and solar tubes on the north roof slope, a single new door opening in the vestry and the construction of an independently supported deck and awning to the east end of the building. The door opening, deck and awning are discrete changes that will have a minor impact on fabric, and no impact on the overall form and presentation of the church. The deck will be an independently supported structure, lightly abutting the east end of the north elevation and the vestry. The awning will be tucked between the rear of the church and vestry, attached to the vestry elevation. These elements will not be visible within the streetscape due to their location at the rear east end of the church. The proposal also involves replacement of deteriorated timber louvres to match existing within the tower, which will have a positive heritage outcome. A small number of access penetrations will also be required at the base of the external brick wall on the south site for new services. These will be minimised in number and scale and new services will be concealed as best possible from view.

The provision of skylights and solar tubes is necessary to provide natural light internally in a way which avoids any intervention into the leadlight windows or removal of brickwork. The skylights and solar tubes (which are small insertions) will be flush mounted with powder coated woodland grey aluminium frames that match the colour of the slates. Where visible, they will present as discrete contemporary insertions without detracting from the overall presentation of the roof form, which will remain intact in views from the south, maintaining its form and presentation in eastern views.

The Former St Andrews Presbyterian church contributes to the significance of the Daylesford Township Church Precinct as a prominent church building with an elevated position and picturesque siting on the east side of Camp Street. It is one of a group of churches along this part of Camp Street and its prominent tower is captured in near and distant views along Camp Street and further throughout Daylesford. Through the retention of its principal presentation, external form, elevated position, and street relationship, the site's contribution to the significance of the precinct will be maintained. The 1904 church building will continue to be externally understood as a former church, and the internal changes and rear development will not impact upon its ability to be interpreted as such.

Interior

The new units inside the church have been designed as contemporary insertions within the larger volume, which are self-supported and independent from the external fabric of the building. While guided by the significance of the site, the proposal also has regard for sustainability objectives, such as heating and cooling, insulation, and fire separation. Options were explored to design a more open space similar to the previous approval, however, this would require further intervention into existing building fabric to address insulation requirements, heat and cool the space, provide services, and would result in limited fire separation.

An understanding of the internal volume and original open layout will be retained through the common areas at the east and west ends of the church and on the attic common level which will allow occupants to experience the timber roof framing up-close, with views over the unobstructed internal space. Within the units, occupants will also have views out to the common areas at the east and west ends of the church. While part of the timber brackets and leadlight windows will be contained within the units, the open space at the east and west ends of the church will retain an overall appreciation of these components as they relate to the broader internal planning and design. At the east end, the timber

joinery of the pulpit and choir stalls and the organ will be retained as significant internal features which can be appreciated by users of the building and interpreted in their original location.

The self-supported structure of the units has reduced the level of intervention and impact on fabric as best possible. Demolition is limited to the temporary removal of part of the raking timber floor to accommodate footings for the new steel frame structure. The 1.5 x 1.5m openings are a temporary condition and will be mostly reinstated with the salvaged timber boards upon completion of the footings. The new levelled timber floor at ground level is necessary for a habitable space and allows the original raking floor to be retained below, with the ability to be revealed and reinstated in future.

The interface between new and old has been carefully detailed in the architectural drawings, which displays how the units will be constructed to provide conditioned spaces without impacting on heritage fabric. At first floor level, the floor plate will have a 0.6m set back around the north and south windows to avoid obstructing windows when viewed externally, and the attic floor level extends over the timber brackets and around the timber hammer posts. Externally, there will be no evidence of the new floor plates inserted within the space.

The partitioning walls and parts of the floorplates will lightly touch the external walls, using 12mm closed cell foam backing rods positioned between new fabric and external walls to provide an air seal. Timber skirtings fixed to the new flooring with a 2mm gap from the exterior will conceal the air seal. The new fabric is entirely fixed to the new frame structure, which is supported by the new concrete footings, and at no point bears onto heritage fabric. Having no impact on the external brick walls and windows, the internal unit could be removed in future and the original interior space reinstated.

The organically shaped walls and spiral stairs contrast the formal and rectilinear planning of the church. With walls clad in white plasterboard and stairs comprised of dark toned steel, they will be evident as contemporary insertions within the church, clearly delineated from the heritage fabric. New services such as lighting and mechanical heating and cooling will be chased through the new walls internally and require minimal access penetrations at the base of the external brick wall on the south site.

In summary, the proposal will provide a much-needed use for the church with minimal impact on heritage fabric. All significant internal features will be retained, including the raked timber floor, roof trusses and brackets, leadlight windows, timber joinery in the pulpit and choir stalls, organ, entry vestibule, side entry porch, front entry porch and tower. An understanding of the internal volume will also be retained through the provision of several common areas. The conditioned units are a sustainable outcome which will assist with heating and cooling, insulation requirements, and fire separation, with minimal adaptive works required to the original fabric of the church.

5.1.2 New work

The new work involves the construction of two new freestanding buildings behind the church at the rear of the site, comprising a total of ten one-bedroom apartments and with a lower ground garage. Site works to support the development include a new driveway with car passing area along the south site boundary and new hard and soft landscaping throughout.

The decision guidelines included at Clause 43.01 as directly relevant to the new work are as follows:

- Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place.
- Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place.

The local heritage strategy at Clause 15.03-1L for significant places as relevant to the new work is as follows:

General

Ensure new development is consistent with and interprets the significance of heritage places.

Design development to respect elements of the heritage place and surrounds including buildings, associated trees, garden settings, plantings, agricultural features within a landscape, and archaeological sites.

Promote building design that clearly and positively supports the heritage significance and distinguishes old from new construction through responsive siting, scale, massing, materials and detailing.

Encourage garages, carports and on-site car parking to be located behind the principal façade, at the rear or in the side setback of a building.

The proposed new buildings at the rear of the site provide a high-quality and contextually driven design that is responsive to the significance of the church in siting, scale, massing, materials and detailing. They have been designed to follow the sloping topography and recede into the landscape in order to maintain the prominence of the church. Comprising two freestanding structures, building one is located closest to the church and adopts a smaller footprint and scale. Building two is set further east, generously distanced from the church, and incorporates a larger footprint and greater scale. While the additions will be visible behind the church due to the rising topography, they will present as a neutral, secondary backdrop to the prominent church.

The proposal takes a consolidated approach which locates the bulk and mass of the development directly behind the church to provide some concealment of the new form. This allows for greater setbacks to the north and south so that when viewed from Camp Street, the buildings present within a landscaped setting. The balconies and the terraces at the north and south ends provide further relief to the built form and reduce the overall bulk of the addition.

Building one incorporates a minimum set back of 3.3m from the rear of the church, which increases at the north due to the angled orientation of the buildings that extend away from the church. The 3.3m setback mirrors the setback of the church from the north title boundary. It is greater than the setback of the former 1863 timber church (Figure 17) and is also greater than the setback proposed in the previously approved development. It will therefore retain an appropriate curtilage around the church and maintain its landscaped setting.



Figure 17 View of the rear of the church and the now demolished 1863 church. Note its location close to the rear of the 1904 church vestry

The north and south setbacks of building one is likewise responsive to the proximity of the church. To the north, setbacks to the title boundary range from 8.5m at the closest point, increasing to 10.1m at the furthest point. To the south, the building is set back from the title boundary in the order of 10.1m at its closest point. At first floor level this is marginally decreased by the balconies and entry which are covered outdoor permeable spaces and do not present as bulk.

Building two, located 1.6m east of building one, is built closer to the north and south boundaries, responding to its position further east on the site, separated from the church in the order of 12.5m. The ground floor level of building two has a 2.9m setback from the north and south title boundaries at its closest points. At the first-floor level the setbacks are increased, incorporating a 7.5m setback from the south title boundary and 4.3 setback from the north title boundary, which reduces the visual impact of the building as it rises from the ground. The lower ground garage beneath building two is built closer to the boundaries, however, it is a discrete addition that is partially located below ground, therefore reducing its visual presence on the site.

To embed the buildings within the site, the proposal involves cut and fill. As such, overall heights vary with the landscape. The maximum building height of building one is approximately 7.8m from the excavated ground level and approximately 9.8m for building two, both of which are set below the peak of the church's raked parapet. This ensures that the church maintains its visual prominence on the site and will minimise the visibility of the new buildings, particularly when viewed from the level of Camp Street which is at a significantly lower level than the church and further conceals the rear additions (see Figure 18 and Figure 19). The perceived scale of the buildings is also assisted by the skillion roofs which slope up to the east, following the topography, thereby reducing any unnecessary height increase.

The new buildings have been designed to clearly present as contemporary additions and incorporate materials inspired by the natural landscape to further enable them to blend into the background. They adopt Hawthorn black brick bases, retaining walls and party walls which ground them on the site, delineate the separate apartments, and also provides a reference the solid masonry of the church. The exteriors will comprise a mix of Scyon Axon cladding in Dulux ecology green and vertical timber cladding with a natural finish, referencing the natural landscape. The very upper parts of building two will be clad in Colorbond wall sheeting in woodland grey which is a dark recessive tone and will assist these higher elements in reading as part of the roof form. Articulation is provided through more contemporary elements such as the steel balustrades and columns and aluminium window and door frames, all in a woodland grey finish. Roofs will be clad in Colorbond corrugate metal sheeting in pale eucalypt. The mix of materials are contemporary and will be readily distinguished from the church. They provide visual interest to the new form, while also allowing the addition to present as a neutral, secondary element on the site that is visually recessive.

In summary, the additions have been designed and sited to minimise the overall visual impact. Accepting that some visibility behind the church is inevitable, the presence of the additions on the site will not detract from the prominence of the church and will retain its setting and architectural qualities for which it is noted. They will also provide a sustainable use for the site which will secure the church's longevity.



Figure 18 Perspective of the proposed development viewed from the west side of Camp Street, looking northeast, demonstrating how the church remains the prominent form on the site
Source: Robin Larsen Design



Figure 19 Perspective of the proposed development viewed from the west side of Camp Street, looking southeast, demonstrating the limited visibility of the additions from the northern approaches of Camp Street
Source: Robin Larsen Design

The following heritage strategy at Clause 15.03-1L relates to the site works proposed as part of the development:

Gardens, Trees and Landscape Features

Conserve important gardens including culturally significant vegetation, trees and plantings, gardens, features and structures.

Encourage the retention of significant trees in a heritage place.

Site and design buildings and works to respect significant trees, plantings and significant garden layouts and provide for the ongoing health of the tree without intruding into the tree protection zone.

Encourage replacement trees of the same species with advanced or mature specimens when significant trees have died.

[...]

Manage significant vegetation to preserve and enhance its contribution to the heritage place, including pruning, thinning and root control.

The proposal will retain the existing soft landscaping in the front setback of the church and involves minor alterations to the hard landscape elements to accommodate the new driveway. The remainder of the site will be cleared, and new hard and soft landscaping will be incorporated throughout. The proposed site works will support the new residential use and provide car and pedestrian access across the site for its users. The works have been designed to maintain a landscaped setting to the church and to provide a similar hard and soft landscape treatment as the existing.

The new driveway is to be constructed in place of the existing driveway, utilising the existing crossover located to the south of the site and will provide vehicle access to the discrete new garage located at the rear. Locating all car spaces for the site in a single location at the rear of the site, partially concealed below ground and by building one, is an appropriate response that will avoid extensive areas of hard

paving around the church. Hard surface areas are further minimised through the permeable grassed surface of the new driveway which will complement the soft landscaped setting of the church. The new driveway requires removal of the existing brick piers and concrete steps, which are non-original site elements, to accommodate a driveway of compliant width with an appropriate splay. The concrete steps will be relocated further north to maintain pedestrian access to the principal church entry and the later metal handrails will be extended to street level for safety purposes. These changes will have no impact on the presentation of the church and are the only changes proposed in the front setback, which will otherwise be maintained as existing. The car passing area is necessary for safety to allow for two-way traffic in and out of the garage. It maintains a setback from the church and has been minimised in size as best possible.

The removal of trees across the site has been informed by the Arboricultural and Impact Assessment Report prepared by Tree Logic, dated May 2022. It is also noted that the land behind the church was recently cleared with demolition of the 1863 timber church. The report concluded that all site trees required removal to enable the development. It assessed the majority of trees as having a moderate or less arborist rating (in fair to poor health at best with reduced life expectancies and contribution to amenity) that should not constrain reasonable development.⁸

While the 2006 CMP identifies the soft and hard landscaping as being contributory to the site's significance, there are no individual trees or plantings identified as significant in their own right. It is considered that the retention of a landscaped setting around the church with limited hard paving areas will maintain the contribution that the landscaping makes to the overall site significance. The replacement landscaping will be guided by the existing, incorporating a mix of native and exotic species. Hard paved areas have been minimised and are generally separated from the church elevations by garden beds and other soft landscaping, except for where existing paths are located hard against the church around the west end of the building. Stone and brick retaining walls will be constructed throughout, similar to the existing stone retaining walls in the front setback. Paths will comprise of brick paving, which references the masonry of the church.

In summary, the site works will retain a landscaped setting around the church and will also assist in concealing the new development at the rear over time. Hard paving is necessary for pedestrian and vehicle access across the site but has been minimised as best possible and designed to complement the materials of the church. The new driveway is a replacement of an existing condition and the permeable grassed surface assists in minimising hard surface areas. The contribution that the landscaping makes to the significance of the church complex will therefore be maintained.

5.2 CMP policies

The 2006 CMP identifies policies for the ongoing management of the Former St Andrews Presbyterian Church, including specific policies for alteration and adaptation. The following table provides an assessment against the policies as relevant to the proposal.

Table 1 Assessment against policies

Policy	Assessment
5.3 Curtilage	No new built form is proposed in the front and side setbacks and there is a minimum 3.3m

⁸ Tree Logic, *Arboricultural and Impact Assessment Report, 19A Camp Street, Daylesford*, 3rd May 2022, p. 3.


<p>An appropriate curtilage should be maintained around the heritage buildings to ensure that the buildings retain an appropriate setting, including the valued heritage character of the existing setting, and to assist with managing the interface with future development.</p>	<p>setback of building one from the rear of the church. This matches the existing setback of the church from the north title boundary. The setback of building one also increases to the north due to the angled orientation of the new building. Enhanced by new plantings which will reinstate a landscaped setting, an appropriate curtilage will be maintained around the church, particularly as it is viewed from Camp Street.</p>
<p>5.4 Significant elements</p> <p>Elements of primary significance [...] should be retained and conserved, and if altered, then it should be done with minimal impact on significant fabric.</p> <p>Elements of contributory significance [...] should, in preference, be retained and conserved, but provide greater flexibility than elements of primary significance with regard to works, alteration, replacement, removal, etc.</p> <p>Elements of little or no significance [...] can be altered, adapted, removed or demolished as required.</p>	<p>The proposal is responsive to the various elements and levels of significance across the complex. The 1904 church is the only element of primary significance and will accordingly be retained as part of the proposal.</p> <p>Elements of contributory significance include the 1863 church which has since been demolished, the Mullock Heap and the soft and hard site landscaping. The value of the Mullock Heap is limited to its archaeological potential. As it is only partly located on the site, the remaining part of the heap on adjacent land will remain undisturbed and retain any potential archaeological value. Existing landscaping in the front setback will be retained with the sum of the site landscaping will be removed and replaced with new. Removal of plantings has been informed by the <i>Arboricultural and Impact Assessment Report</i> prepared by Tree Logic.</p>
<p>5.6 Use</p> <p>Future use of the place should have regard for those factors which have been identified in the statement of significance as contributing to its significance and should not detract from the identified cultural significance of the place.</p>	<p>The policy for use identifies that a residential or commercial use could be contemplated for the site, permitting that physical evidence of the historical use is retained. The works to adapt the church to residential use will not result in any major external changes to the building and requires minimal intervention internally. An understanding of the original planning, design and internal volume will be retained within the church. As such, the proposed residential use, including two one-bedroom units and common areas, is considered to be an appropriate and compatible use for the building.</p>

<p>5.7 Alteration and Adaptation</p> <p>If new floors, such as mezzanines, are to be inserted, they should preferably be kept back from the original external walls so as to maintain some sense of the original space, through creating voids or light wells. They may have the appearance of ‘floating’ within the main volume of the church space. New floors should also avoid, where possible, cutting across window openings (i.e. new floors should preferably not be visible from outside). The use of false flooring over original flooring is also appropriate, particularly where it can be considered for removal at a later date without damaging the original floor fabric and structure.</p>	<p>The proposed approach for adapting the church to a residential use is one which will introduce two freestanding, conditioned units within the larger volume of the church. This is a balanced approach which will have a positive environmental outcome while also having minimal impact on the church fabric. While the units will be enclosed spaces, an understanding of the overall internal volume will be retained in the east and west common areas and common attic level. The new structure is supported by a freestanding frame system and partitioning walls and floors will lightly touch the external walls. They could therefore be removed, and the internal volume reinstated in future if desired.</p>
<p>Internal conversion should take advantage of the original spatial qualities of the main interior space. New internal divisions, both horizontal and vertical, also need to take account of the main structural elements of the building, including the roof. It is important to let the existing structure suggest the floor-to-floor heights.</p>	<p>The spatial qualities of the church interior have determined the location of new walls and floors. The ground floor level will be located above the raking floor to protect and retain this element beneath the new floor. The floor of the common attic space will extend above the roof brackets and will extend around the hammer posts in order to retain these elements. While some of the brackets will be contained within the units, the common open space at the east and west ends of the church will maintain an unobstructed understanding of the internal spatial qualities of the church. The first floor level incorporates a 0.6m setback around windows in order to avoid obstructing them externally. The walls of the units are also located between windows and will not be perceived from the exterior.</p>
<p>Where practicable, work should be reversible, not least since this allows for possible future reinstatement. The future of the building should always be considered in the longer term.</p>	<p>As the units are insertions within the church that will be independent from the external walls and self-supported by a new frame structure, the new work can be dismantled and removed in future with minimal impact on the heritage fabric, allowing the internal space to be reinstated.</p>
<p>As many original internal fittings and fixtures should be retained and re-used as is possible and practicable, including original church fittings and stained glass.</p>	<p>All stained-glass windows will be retained as existing and repaired as necessary, along with the timber joinery around the choir stalls and pulpit area. Existing lighting and light fittings will be retained in the common areas and around the</p>

	entry and the electrical wiring to the organ will be upgraded as necessary. The existing entry doors and door hardware will be retained as existing.
Windows are a sensitive area, and rather than lowering sills to open up a view out, consideration should be given to raising sections of the floor within to achieve the same end result.	No intervention into the existing stained-glass windows is proposed aside from any necessary repairs and make good works to be determined in the design detail phase. No parts of the new floor will cut across windows.
New or introduced fabric should be visually distinguished from the original fabric.	The new units within the church will be discernible as new work, distinguished from the original heritage fabric. It incorporates contemporary materials including white painted plasterboard, metal stairs and balustrades, hardwood timber floors in a darker tone to the original floors and glass balustrades and skylights. These materials suitably contrast the red brick and timber of the church.
Exterior alterations should be kept to a minimum to safeguard the landmark value of the church, and should preferably be restricted to the elevations with least visibility from surrounding streets or viewpoints. Original windows should be retained and unavoidable new openings detailed to match existing ones.	External alterations are minimal, limited to a single new door opening in the north elevation of the vestry, new deck and awning at the northeast corner of the building, and new skylights and solar tubes in the north roof slope. The highly visible principal façade and south elevation will be retained with no changes proposed. The north elevation is the most appropriate location for the minor changes due to its proximity to The Manse to the north which partially obscures this elevation within the streetscape, further assisted by landscaping and the prominent tower which conceals part of the roof form in oblique views.
Extensions and additions to the church building should be considered as a last resort, as they often damage the integrity of the building and its form.	No extensions are proposed to the church. Additions are limited to the deck and awning. The deck is much smaller in scale than that approved in the previous development (which spanned the full north elevation) and the awning will be discretely tucked between the rear of the church and the north elevation of the vestry, therefore having minimal visual impact. The deck is also a freestanding, self-supported structure that can easily be removed in future.
With careful attention, car parking need not detract from the setting of the church.	Car parking is a necessary amenity for the new residential use. All on-site car parking spaces will

	<p>be provided in the lower ground garage located beneath building two at the rear of the site. It will be partially excavated into the ground. Aside from replacement of the existing driveway with a new permeable grassed surface along the south site boundary and the garage entry, the remainder of the garage will be concealed within the topography and by building one and will therefore have limited visibility behind the church.</p>
<p>5.7.2 Internal Adaptation</p> <p>The policies for internal adaptation of the 1904 Church are summarised below:</p> <ul style="list-style-type: none"> • The internal subdivision of the church building should be done with sensitivity and in a manner which has regard for impacts on the significant fabric and character of the internal spaces, including ceiling and roof structure, walls, floors and windows. • Within the subdivided spaces, and as a means of retaining some sense of the original internal volume and height, an additional level or levels could be created through the construction of 'floating' mezzanine floors, as outlined above, and accessed via new internal stairs. • In the apse area, the existing choir stalls, organ and associated timber work and joinery should, as a general principle, preferably be retained and worked around in an adaptation of this space. • The subdivision of the remaining separate spaces from the main space (such as the belfry or bell tower, vestibule, vestry, and front and south porches) can be problematic as it has the potential to further diminish the 'readability' of the original layout and operation of the church. 	<p>The policies for internal adaptation generally aim to retain a sense of internal volume within the church. The approach of two conditioned units within the internal space is contrary to the policy which encourages mezzanine levels of no more than two thirds of the volume. However, two large open spaces with mezzanines presents several challenges with heating, cooler, insulation and fire separation. It also results in an outcome where only the occupants of the two units will have access into the church and would therefore require intervention into the subsidiary church spaces to reduce several points of access, rendering these spaces redundant. The current approach provides common spaces at the east and west ends of the church, in the tower, and on the attic level which will promote greater appreciation and engagement with the church interiors while still retaining an understanding of the internal volume. While contrary to the CMP policy, this approach is preferred from a heritage perspective.</p>

<p>5.7.3 Alterations to Presentation of the 1904 Church</p> <p>It is recognised that, in seeking to provide amenity to spaces (including possible residential spaces) there may be a need to make alterations to the exterior of the church. The principal objective in this instance, with regard to the external presentation of the church, is to minimise the visibility of new works and alterations, and to minimise or limit the physical impact of such works on significant fabric. Works to the most visible elevations, including the visible roof planes, should be minimised, and if required, should be undertaken in a way which is sensitive to the form, fabric, and rhythm of the external facades. Clearly, the principal presentation of the church to Camp Street is critical, and any impact on this presentation, including impacts on the distant views available from north, south and west should be avoided.</p>	<p>The principal presentation of the church to Camp Street will be retained in its current form, along with the highly visible south elevation. External change is located to the north elevation, which is partially concealed within the streetscape. New external works will have minimal visibility from Camp Street in near views, will not be readily perceptible in distant views, and therefore will not detract from the presentation of the church.</p>
<p>5.7.4 Additions & Extensions</p> <p>Additions or extensions to the 1904 church building should preferably be avoided, but could be considered for the less visible area on the north of the site. The scale, form and materials of any extension should be carefully considered so as to minimise any visibility from the key street views, and inappropriate impacts such as visual dominance in relation to the heritage building, undue prominence in the sensitive streetscape context, etc.</p>	<p>As noted above, no extensions are proposed to the church and additions are minimal. See commentary under 5.7 Alterations and Additions.</p>
<p>5.7.5 New openings</p> <p>Where new external penetrations or openings are required, careful consideration should be given to their desirability and necessity, and to the details of finishes which generally should aim to emulate the original design but which should be distinguishable from the original.</p> <p>This applies to doorways and windows. It is also recommended that new openings be restricted in number, and confined to the least visible external walls. They should also be located sensitively, with regard to the appearance of the</p>	<p>The new door opening in the north elevation of the vestry is a minor change that will provide accessibility to this space from the deck, which is currently only accessible through the raised pulpit and choir area.</p> <p>The skylights have been minimised in number and scale and will be flush mounted with dark aluminium frames to complement the colour of the slates and are limited to the north roof slope. The solar tubes are small insertions between the skylights. The north roof slope is partially concealed within the streetscape by the proximity</p>

<p>wall and rhythm of other openings. It is preferable that windows not be dropped, but if absolutely necessary, then these works should be limited to one or two windows per side elevation (not the principal west elevation).</p> <p>It is recommended that skylights not be introduced to the roof of the main church space, as the roof planes are highly visible elements of the building.</p>	<p>of The Manse, trees and landscaping, and the prominent church tower. As such, the skylights will therefore have minimal visibility within the streetscape and will not detract from the overall presentation of the church. The highly visible south roof slope will be kept intact. Noting that the policy for new openings discourages introducing skylights to the church roof form, the provision of skylights and solar tubes is the preferred method of providing natural light into the units and common church spaces as opposed to new openings in the external walls or alterations to the stained glass windows, which would have a greater impact on fabric and are more challenging to reverse in future.</p>  <p>Figure 20 Views of the northern roof slope are limited from Camp Street</p>
<p>5.7.6 Replacement of Glazing</p> <p>Should replacement of glazing be proposed, the preferred strategy for the north and south facades would be for the existing coloured margins to be retained in the windows, with the central glazing replaced with clear glass quarries, set within the diamond leadlight pattern. The original glazing should in preference be retained to the west façade.</p> <p>With regard to the timber louvres in the bell tower, it may be that their replacement with glass is required, should the tower be considered for adaptation to residential use. If so, the colour and finish of the glass should be carefully considered to avoid inappropriate</p>	<p>All stained-glass windows in the church will be retained as existing to all elevations. This is the preferred heritage outcome, particularly due to the difficulty in replacing stained-glass to match existing.</p> <p>The timber louvres have sustained damage over time and require replacement. It is proposed to replace the louvres with new timber louvres to match existing, therefore maintaining the external presentation of the tower.</p>

visual impacts; for instance it would be inappropriate to use reflective glass or surfaces.	
<p>5.7.7 Organ</p> <p>The 1905 organ (by Victorian organ-builder, E Cornwell Cook) is a significant and substantially intact historic organ, albeit one that has had repairs and restoration work undertaken in the past. It is understood that, should the organ be proposed for relocation (as flagged above), preliminary investigations undertaken to date have not identified a new home. While there is the option of storing the organ for future use, this is considered to be a less desirable outcome. If retained in an adapted (or subdivided) space, it is also recognised that the organ will no longer have a level of public access, and is unlikely to be used on a regular basis (so as to maintain it).</p>	<p>The 1905 organ will be retained as part of the proposal and kept in situ, incorporated into the common areas in the church. This will enable its interpretation as part of the former church use, and the organ will continue to be viewed and appreciated by users of the site. Retaining the organ in situ is a preferred response as opposed to removal or relocation.</p>
<p>5.8 New Development & Works</p> <p>Development on the rear (east) of the site is possible and reasonable from a heritage perspective, but should have regard for retaining a degree of separation from the retained church building (or buildings) and the visual and physical prominence of the 1904 church on the west of the site. New works should also not detract from the setting of the historic buildings, and should not dominate the church in views from the west, north and south. This could be achieved through avoiding placement of new works to the immediate east of the 1904 building, or minimising the scale and height of structures built in this area; structures further east on the site could be of greater scale and height.</p>	<p>The two new buildings at the rear of the site have been designed and sited in a way which responds to the 1904 church building. Building one, being closest to the church, will be two storeys in height and set back from the rear of the church by a minimum of 3.3m. This increases to the north due to the angled orientation of the building. Building two is located 12.5 metres east of the church and therefore contemplates a greater scale and footprint of two storeys with a lower ground garage. The setbacks provided will retain a sufficient curtilage around the church to ensure it maintains its prominence on the site and when viewed from Camp Street. The new buildings do not rise above the peak of the raked church parapet, ensuring that despite the rising topography to the east, they will present as low forms embedded within the landscape, which will reduce their visual impact on the site.</p>
<p>The vegetated character of Wombat Hill to the east of the church should also be respected and taken into consideration in any development in this area; in other words new works should aim to retain areas of open space in and around new structures, including existing mature vegetation, and a sense of openness and permeability for</p>	<p>The site is located on the western slope of Wombat Hill and contributes to its character through its partially vegetated sloping topography, albeit the vegetation is limited and mostly located toward the east, as part of the site was recently cleared with the 1863 timber church. The proposal will maintain a contribution</p>

the site. This is generally consistent with the character of urban development on the west flanks of Wombat Hill. This character is also evident in the images reproduced in this report, which show often substantial buildings dotted about the flanks of the hill, in garden or landscaped settings.	to the vegetated character of Wombat Hill through the introduction of new landscaping, retention of a landscaped setting around the Church, siting of the new work and the natural materials of the new development that are inspired by the landscape.
The site of the 1863 building, if it is demolished, provides the opportunity for new works. It is preferable that a new building on this site be of a modest scale and height, so as to limit or minimise its visibility (and visual impact) on the 1904 church.	The 1863 building was recently demolished due to damage sustained in a storm. Building one is in a similar location to the former church and incorporates a greater minimum setback from the rear of the 1904 church (in the order of 3.3m). This is also a greater setback than the closest unit (Unit B) in the previously approved application. Building one is lower in scale and smaller in footprint than building two, therefore responding to its closer proximity to the church and the greater sensitivity directly behind it.
With regard to the topography and different levels of the site, it is preferable that this aspect of the historic character be retained in any new works. A gradual stepping up the slope is preferred, as a means of working with, rather than against, the existing landform. The topography also provides the opportunity to undertake some excavation (as happened historically) to accommodate lower levels of new works (thereby minimising height).	The new buildings at the rear of the site follow the topography as it rises to the east and will be partially embedded within the site. Some excavation for cut and fill will be required to enable the new buildings, particularly to construct the lower ground garage which is partially below ground.
With regard to the form of new works, a contemporary approach is preferable, so as to distinguish between old and new works on a heritage site. In this instance, given the particular character of the site and precinct, the form of new works should also seek to draw in some respects on local traditional forms, particularly in terms of roofs and eaves. Contemporary design need not dramatically contrast in a context such as this. Articulation should also be used to provide some interest to a new structure, and to break up any impression of bulk and large mass.	The new buildings adopt a contemporary design with simple, rectangular forms. They are located directly behind the church to conceal as much of the bulk and mass as best possible. This is further assisted by the angled orientation that angles away from the church, and the inclusion of balcony spaces to the north and south elevations, providing relief to the built form. The skillion roofs follow the slope of the topography as it rises, which minimises the perceived scale and mass.
The material palette should be simple, and should draw to some extent on local materials,	The new buildings comprise materials inspired by the landscape which aim to blend into the

<p>at least in a selective way; contemporary materials should also seek to compliment local materials, or if contrasting, should not detract from the local materials.</p>	<p>topography. Materials include a mix of Scyon Axon vertical metal cladding in Dulux Ecology Green, Hawthorn black brick and natural finish timber cladding. The natural timber and green cladding will help the building blend into the landscape and the brick is a contemporary interpretation of the church masonry. The materials are appropriately contemporary and will contrast the red brick of the church.</p>
<p>New works should also avoid a situation where development impacts on the historic presentation of the Churches Precinct generally. A highly visible new building (or buildings) of bulk and scale, or of strikingly contemporary form, would have an undesirable impact on the appearance of the precinct.</p>	<p>Due to the rising topography, the new buildings will inevitably be visible behind the church. However, they have been carefully designed and sited to ensure they provide a neutral and sympathetic backdrop to the church without detracting from its presentation to Camp Street, or its contribution to the Churches Precinct more broadly.</p>
<p>5.8.2 Car Parking</p> <p>Car parking spaces should be placed in areas of limited visibility, or if this is not possible, then the spaces should be open (i.e. not covered) and their visual impact managed through sensitive landscaping. It is recommended that, where parking is located in close proximity to the heritage building (or buildings), no hard elements (such as carports, etc) be constructed near the building facades.</p>	<p>See commentary above under 5.7 Alterations and Additions.</p> <p>There is currently an existing driveway and crossover along the south site boundary. The replaced driveway and car passing area will be set in the same location as the existing, set back from the south façade of the church behind a grassed area, so as to maintain a soft landscaped setting and to avoid hard elements abutting the church façade. The driveway will comprise a permeable grassed surface to minimise hard surface area.</p>
<p>5.8.3 Access</p> <p>Access to the site can continue to be provided via the existing driveway on the south of site, or alternatively via Daly Street on the east, or both. Access works will also require upgrading of the existing driveway, although the relatively informal character should be retained.</p>	<p>As above, the new driveway utilises the location of the existing driveway and crossover on the south of the site and access will be via Camp Street. The driveway will contain permeable grass to minimise the extent of hard surface.</p>
<p>5.10 Views & Vistas</p> <p>The [Wombat] hill is almost always seen in views of the church site, as a backdrop feature, or abutting, with the church a very visible component of the built form that has developed on the hill's flanks over 150 years. The reality of Wombat Hill, however, is that virtually any new</p>	<p>As previously noted, due to the rise in the topography, the new buildings will inevitably be visible behind the church. However, through the design, scale and siting of the new work, the church will remain the prominent form on the site.</p>

<p>building will be observed in views of the western flank and, subject to scale and design, may also be prominent. The policies here relating to new works and development on the subject site, including the recommendation that new structures in close proximity to the 1904 building be of a modest scale, are aimed at limiting or minimising this.</p>	<p>The new buildings sit below the height of the church's raked parapet and the building incorporates a low skillion roof, as such, views to the church tower from atop Wombat Hill will be maintained. In near views from the level of Camp Street, the church will retain its prominence and the new work will recede behind it. In distant views from the level of Camp Street and the lower parts of Daylesford, the new buildings will likely have some visibility, however, assisted by the natural materials and new landscaping, will somewhat blend into the topography and the church will remain the prominent feature in these views.</p>
<p>5.11 Landscape</p> <p>Existing soft and hard landscape elements should [...] be retained where possible, and plantings, pathways, steps and terraces, should form part of any new development. The space around the 1904 building, on its west and south sides in particular, is an important aspect of its setting, and the landscape character of this setting should also be maintained in any redevelopment.</p> <p>With respect to future hard landscape elements such as paths, paving, and fences it would be appropriate to maintain the present palette of construction materials. Alternatively, if new design elements are proposed they should be respectful, yet not replicate or obscure the historic precedents and fabric of significance.</p>	<p>The existing landscaping in the front setback of the church will be maintained with minor changes to the concrete steps and brick piers to accommodate the new driveway. Although the rear of the site is to be cleared, cut and filled for the new buildings, the proposal will incorporate new soft landscaping around the new development to maintain a landscaped setting around the church and to help conceal parts of the new buildings once the plantings mature in future. The landscape works have been guided by the Arboricultural and Impact Assessment Report prepared by Tree Logic which rated the existing trees as moderate or lower.</p> <p>Hard paving elements have been limited to where necessary, such as pedestrian paths across the site and the replaced driveway with car passing bay. The new hard landscape elements will incorporate complementary materials such as brick paving and the new driveway will have a permeable grassed surface. The new plantings will incorporate a mix of native and exotic species that are fitting with the local area.</p>
<p>5.12 Mullock Heap & Mining Remains</p> <p>The 1860s Wombat Hill Mining Company mullock heap is a significant heritage element of the subject site, and a feature of Wombat Hill. There may also be, as outlined in the history at Chapter 2, other evidence of former gold mining activity on, or partly on, the subject site, such as</p>	<p>The proposal requires cut and fill at the rear of the site, including excavation of the part of the Mullock Heap that is located on the site, noting however that the remainder is located on adjoining land. The owner has been advised of the statutory obligations under the <i>Heritage Act</i></p>

<p>the remains of a shaft or shaft engine, or under the 1863 church.</p> <p>[...]</p> <p>It is therefore recommended that the owners of the subject site notify Heritage Victoria of the existence of the mullock heap, and other possible former mining remains. Should any development be proposed which may result in the disturbance or destruction of the heap or other archaeological material on the site, a consent is required from Heritage Victoria to undertake the works.</p>	<p>2017 should any subsurface deposits be discovered during construction.</p> <p>The Mullock Heap is a contributory feature of the St Andrews Church Complex, which is limited to its archaeological potential. Construction of built form over part of the Mullock Heap will not detract from the 1904 church which is of primary significance.</p> <p>It is further noted that no archaeological deposits have been found on the site to date and the remainder of the Mullock Heap on adjoining land will maintain any archaeological potential.</p>
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6.0 CONCLUSION

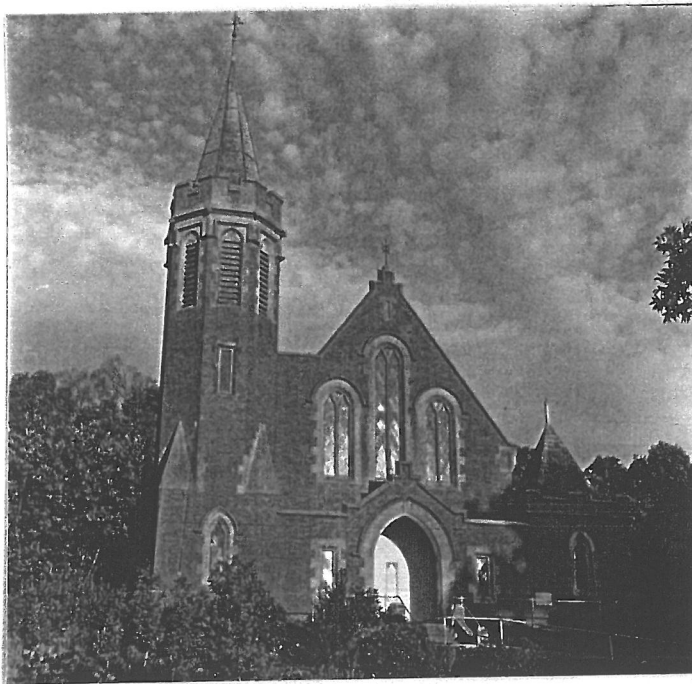
The proposal is for the conversion and reuse of the former St Andrews Presbyterian Church, which has lacked an active use over the past decade and consequently fallen into disrepair due to ongoing vandalism and trespassing. To support the works to the church, including any necessary conservation works and repairs, two new freestanding buildings will be constructed at the rear of the site comprising residential units. The proposal has been guided by the significance of the 1904 church and the natural topography of the site, with regard for the policies of the 2006 CMP and the heritage provisions of the Hepburn Planning Scheme.

The proposal will secure the longevity of the church by providing a new compatible use and maintains the significant elements and qualities of the church complex, including the prominence of the church on the site, its grand scale and picturesque elevated position on the east side of Camp Street, and its landscaped setting. It will also repair and restore the damage sustained in recent years and prevent further deterioration. While the new buildings will inevitably be visible on the site, they are appropriately set back, responsive in siting and scale, and will provide a neutral and recessive backdrop to the church. As such, the proposal is considered to be an appropriate heritage response that will result in a positive outcome for the 1904 church.

APPENDIX A: HERITAGE CITATIONS

BUILDING *Presbyterian Church*

ADDRESS *19 Camp Street*



SECTION NO. 37A

LOT NO. 32

NATIONAL TRUST REGISTER *No*

AUSTRALIAN HERITAGE COMMISSION REGISTER *No*

HISTORIC BUILDINGS REGISTER *No*

LOCATION WITHIN PRECINCT *Churches Precinct*

NEGATIVE REFERENCE *R-1-11/12*

SLIDE REFERENCE

GRANTEE *Presbyterian Church Reserve*

ORIGINAL BUILDING OWNER *Presbyterian Church*

PRESENT OWNER

PRESENT USE *Church*

CONSTRUCTION DATE *1903-4*

ORIGINAL USE *Church*

ARCHITECT *Clegg and Miller*

BUILDER *W. D. Campbell*

PHYSICAL CONDITION

Good.

INTEGRITY

Good. The interior appears to be original.

HISTORICAL DESCRIPTION

It was Jessie Leggatt who made a substantial contribution to the building of this church, the design having been chosen from 24 sub-missions. Clegg and Miller were the Architects, the foundation stone being laid in 1903 and the first service being held the following year.

In 1905, the present organ was installed. The approach ramp and steps were built later.

ARCHITECTURAL DESCRIPTION

A simply detailed, Early English Gothic church, having a small tower, sloping timber floor and vestry at the rear. The spire base is castellated and trimmed with gargoyles, but the tower has never had a bell. The walls are of red brick, the south elevation forming a pedestrian approach and being tuckpointed.

Inside, 5 hammer beam trusses are cross braced and carried on stone imposts with the lower chords formed by the rods. They support a timber lined ceiling with cast iron vents retaining their original dark and light stone colours. The floor slopes east to the choir stalls, precentor's chair, table, pulpit and organ. The woodwork, together with the pews, is original, the manner in which the choir stalls are fitted into a confined space being of interest. The hand pump for the organ remains.

LEVEL OF IMPORTANCE 'B'

A church of unusual design in its local context, prominent on the west face of Wombat Hill. It is in tact and in conjunction with the manse, former church and tennis court, is most picturesquely situated on a steeply sloping site. The cast iron lamp standard immediately to the south is also of note.

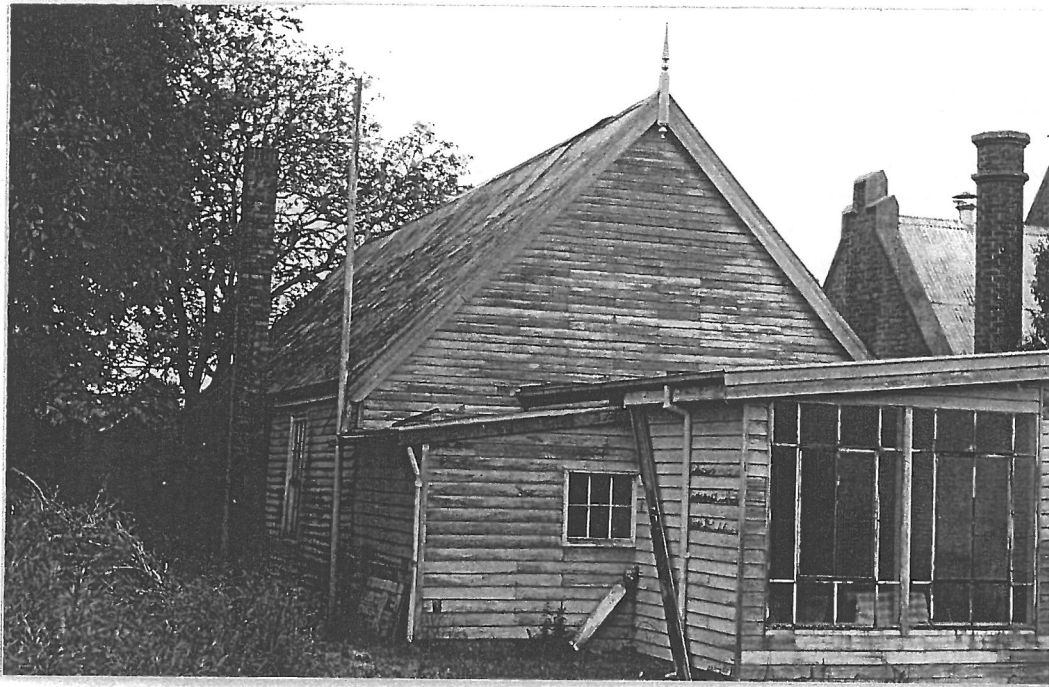
REFERENCES

- . 75th Anniversary Celebrations Souvenir
- . 125th Anniversary Celebrations
- . Minute Books
- . Birtchnell's Daylesford Directory (1865)
- . "Messenger" : 3/6/1904
- . "Sun" : 22/11/1924
- . Latrobe Small Picture File H19831
- . Views : Daylesford and District Historical Society Collection



BUILDING *Former Presbyterian Church*

ADDRESS *19 Camp Street*



SECTION NO. *37A*

LOT NO. *32*

NATIONAL TRUST REGISTER *No*

AUSTRALIAN HERITAGE COMMISSION REGISTER *No*

HISTORIC BUILDINGS REGISTER *No*

LOCATION WITHIN PRECINCT *Churches Precinct*

NEGATIVE REFERENCE

SLIDE REFERENCE

GRANTEE *Presbyterian Church Reserve*

ORIGINAL BUILDING OWNER *Presbyterian Church*

PRESENT OWNER

PRESENT USE *Sunday School Hall*

CONSTRUCTION DATE *1863*

ORIGINAL USE *Church*

ARCHITECT

BUILDER

PHYSICAL CONDITION

Fair.

INTEGRITY

Fair. The belfry has been removed, additions provided at north end, and porch used as a kitchenette.

HISTORICAL DESCRIPTION

The Rev. William Jarrett commenced services in Daylesford in 1862, a wooden building capable of accommodating 300 persons being opened on 31st May, 1863. The church was located a fair distance from the Camp Street frontage owing to the existence of the mining operations of the Township Lead in this vicinity.

In 1904, it was replaced by the present church and has been in use since as a hall and Sunday School.

ARCHITECTURAL DESCRIPTION

A simple timber building with steeply sloping corrugated iron roof concealing the original timber shingles. The belfry, surmounted by a gilded vane has been removed.

Inside, the walls have a timber dado and the ceiling is timber lined. The electric light fittings are early, and of note. The windows have stained glasswork, whilst an illustrated verse painted in 1893 over the place for the table reads: "Come unto me all ye that labour and are heavy laden, and I will give you rest." Beneath the timber floor is a rammed earth floor (not inspected).

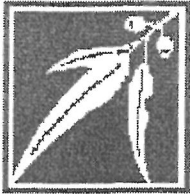
LEVEL OF IMPORTANCE

'B'

An early public building in Daylesford, of importance to the history of the Presbyterian Church in the parish. It is the only timber church building in the Churches Precinct and is an essential component of the Presbyterian Church complex.

REFERENCES

- . *Daylesford and District Historical Society*
- . *125th Anniversary Celebrations*
- . *75th Anniversary Celebrations souvenir*



National Trust of Australia
(Victoria)



Home
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St Andrew's Presbyterian Church & Organ

St Andrew's Presbyterian Church & Organ
19 Camp Street
Daylesford VIC 3460

Extra Location Info:

Municipality: Hepburn Shire

Region: Geelong/Ballarat
Reg

File No: B5906
Category: BUILDING
Melway/Vicroad Ref: 289 P9
Place Type: Church & Organ
Class: Local
Last Revised: 13 Jul 1989
Citation Type: Trust

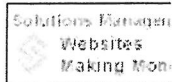
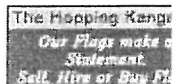
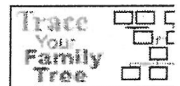
CITATION

Church Statement of Significance: A brick church of 1903-4 designed by Clegg & Miller, and distinctive for the composition of its west front. This is elevated high above the street and incorporates an open porch flanked by an octagonal bell tower with copper spire and a lower projection with pyramidal roof. The interior, which has a sloping floor, focusses upon the apse which contains an intact pipe organ built in 1904 by E Cornwall Cook. Church Classified 13.7.89

Organ Statement of Significance: A two-manual organ of 11 speaking stops built about 1905 by the Victorian organbuilder E Cornwall Cook and restored in 1906 by George Fincham & Son. It is the only example of Cook's work to survive intact. The instrument, which is sited in the apse and the focal point of the interior, retains its original tonal scheme, double-tower case with painted facade pipes, and extended tracker action console. Of State significance. Organ Classified 21.4.93



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Street Facade Control: As a means of clarifying its objectives for individual properties, it is recommended that Council have schematic street elevations prepared outlining its expectations for the future management of each site within the precinct in terms of such factors as -

- . shopfront reinstatement
- . verandah reinstatement
- . advertising control
- . building stabilisation
- . new building - form and scale control

Such a document prepared in conjunction with the recommendations concerning community consultation outlined in section 5, will assist both Council and property owners in determining their approach to development in a manner consistent with the proposed objective of enhancing the precinct's historic character.

Statutory protection of the precinct's historic character should be established by designation as an area of special significance in Council's planning scheme.

4.3 CHURCHES PRECINCT

4.3.1 Location

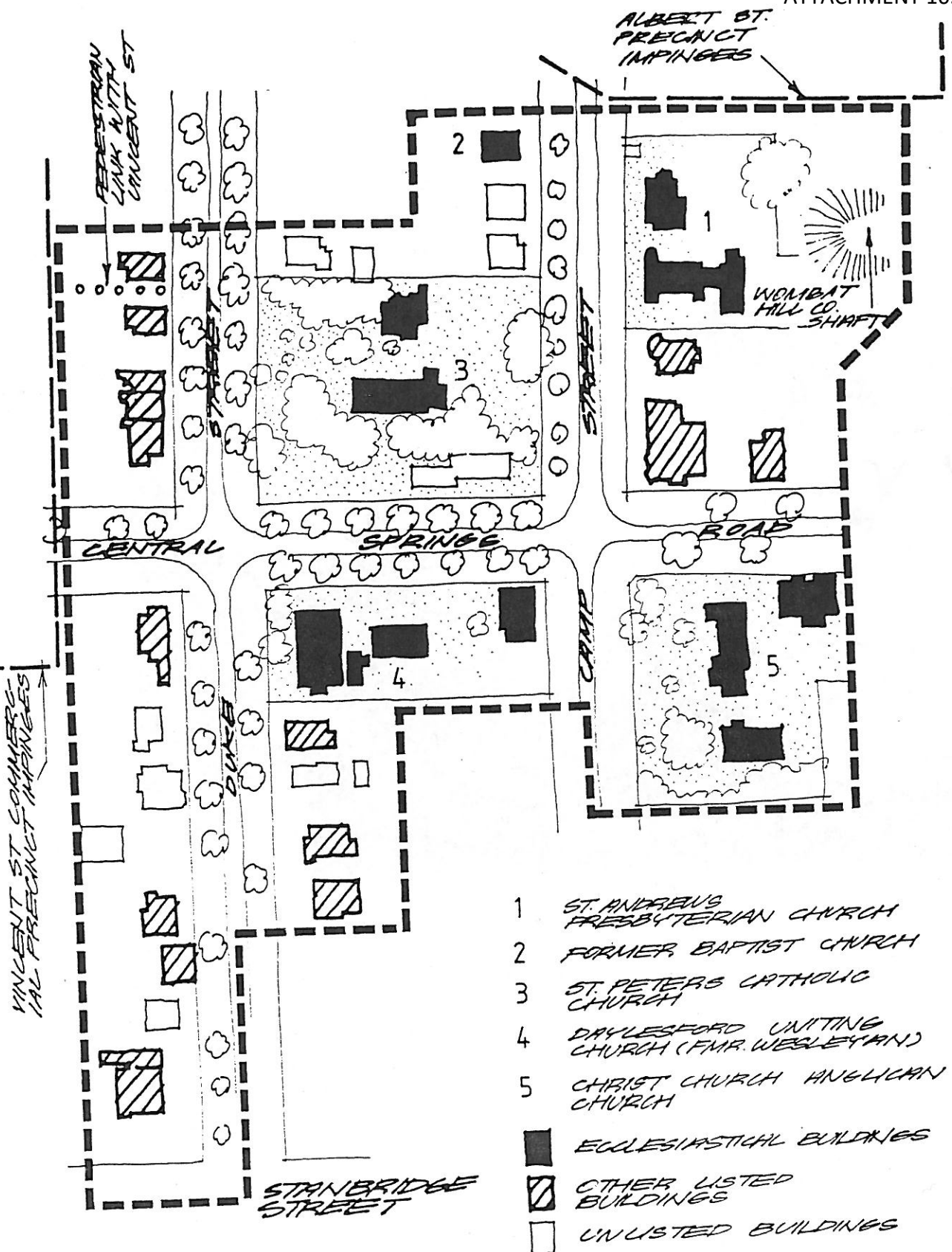
The location of this precinct is shown on figure 4.1 and described in greater detail in figure 4.3. It occupies the western slopes of Wombat Hill in the vicinity of the churches, which are concentrated at the intersections of Central Springs Road and Duke and Camp Streets.

4.3.2 Development

The land in this precinct was alienated during the early Crown Land sales of the mid 1850's, due principally to its elevated aspect and proximity to the Vincent Street centre. Construction of the surviving churches and associated buildings commenced during the 1850's and continued into this century, with St. Andrews Presbyterian Church being built to replace the original timber building as late as 1905. Similarly, the housing stock includes cottages dating from the earliest phase of construction during the 1850's and 1860's and larger residences extending into the Edwardian era. Development halted around this time and has never been recommenced.

4.3.3 Description and Significance

The essential characteristics of this precinct which are responsible for its importance at a state-wide level include the architecture and juxtaposition of the churches themselves, its scenic location, which overlooks the Vincent Street centre, the historic gardens settings and by no means least, its degree of intactness.



churches
 precinct 1:2000

FIGURE 4.3

In Camp Street, an intimate scale is achieved by means of tree plantings and the face of the cut formed by the roadway itself. The land form falls away sharply along its western alignment, affording dramatic distant vistas framed by buildings and trees in the foreground, as illustrated below.



The vantage points from which spectacular and unusual views of well known landmarks within the precinct and township can be obtained become more frequent at the eastern extremity of the precinct. Great potential exists here for the introduction of a walking track, taking in such features as the Market Hill Company's overburden dump - as a resting place and viewing platform - the lock-up and former police residence area at the back of the Court House, and extending when appropriate to street level in Camp Street or Central Springs Road.

The architectural style of the precinct is described in the Heritage Inventory. It is characterized by the following important elements:

- sympathetic to the fences, the stone wall to the lawns and the...

St. Peters. Cypress hedges and lower privet hedges, crimped wire fences and pickets, and old brick fences make their own contribution to the precinct's charm.

- . road edge treatments, including gravel and grassed shoulders constitute important "country town" elements, as do the stone faced culverts in Central Springs Road.
- . the mature treed avenues and private gardens exhibiting mature examples of Victorian tree plantings, indicated on the figure.
- . the public seating, provided strategically at intersections, up the steep face of Wombat Hill.

The level of intrusion into the churches precinct is low, being limited to four post-Edwardian residential buildings, a number of timber and wire mesh fences, and redeemable alterations to the fabric of its early building stock.

4.3.4 Listed Heritage Items within Precinct

Camp Street (west side)

- . Former Baptist Church

Camp Street (east side)

- . St. Andrews Presbyterian Church buildings
- . Christ Church Anglican Church buildings

Duke Street (west side)

- . St. Peters Catholic Church
- . Daylesford Uniting Church
- . 17 Duke Street
- . 21 Duke Street : "Toreki"
- . 23 Duke Street

Duke Street (east side)

- . 10 Duke Street
- . 12 Duke Street
- . 14 Duke Street
- . 16 Duke Street : "Modella"
- . "Mount Stuart House"

- . 58 Central Springs Road : "Kenmore"
- . 22 Duke Street
- . 26 Duke Street : "The Rest"
- . 28-30 Duke Street
- . former "Holyrood House"

4.3.5 Management

Council should encourage policies which retain the historic buildings and gardens within the precinct and discourage the further introduction of unsympathetic elements such as modern fencing and the extension of concrete kerb and channel drainage lines. The following actions are recommended:

- . Remove street pole at south-west corner of Central Springs Road and Camp Street.
- . Consider extension of existing tree plantings along east side of Camp Street.
- . Incorporate precinct within scenic walk, noted in section 5.
- . Curtail the extension of concrete kerbs and footpaths, where feasible, and use asphalt pavement generally in preference to concrete. Provide post and rail protection to stone faced culverts at crossing points in the manner well demonstrated at Maldon.
- . Designate this precinct as an area of special significance within the planning scheme with provisions to be administered in the manner outlined in section 5.

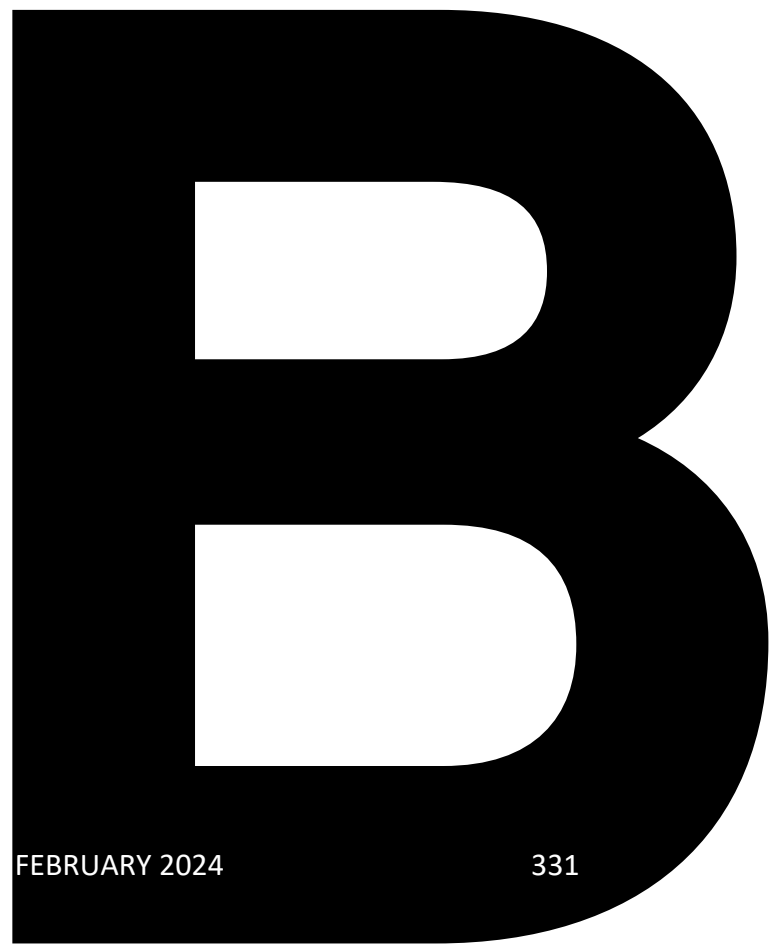
Any new buildings should conform in architectural scale and materials to the predominantly historic character of the precinct's buildings.

4.4 ALBERT STREET PRECINCT

4.4.1 Location

The location of this precinct is shown on figure 4.1 and described in greater detail in figure 4.4. It occupies the eastern end of Albert Street terminating at the Court House complex of buildings, and is visible from most of the township, having an elevated aspect on the western face of Wombat Hill.

APPENDIX B: EXISTING CONDITIONS IMAGES



The following images have been supplied by the property owner to demonstrate the existing condition of the church.





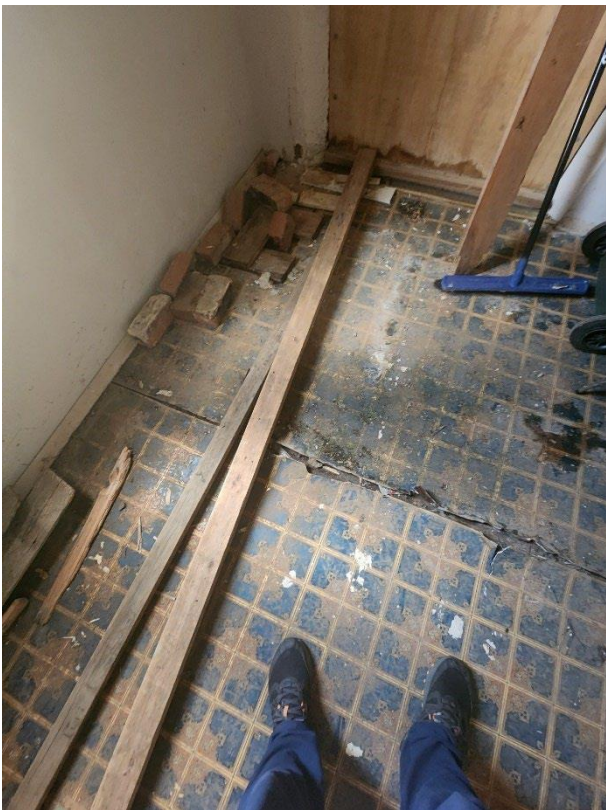


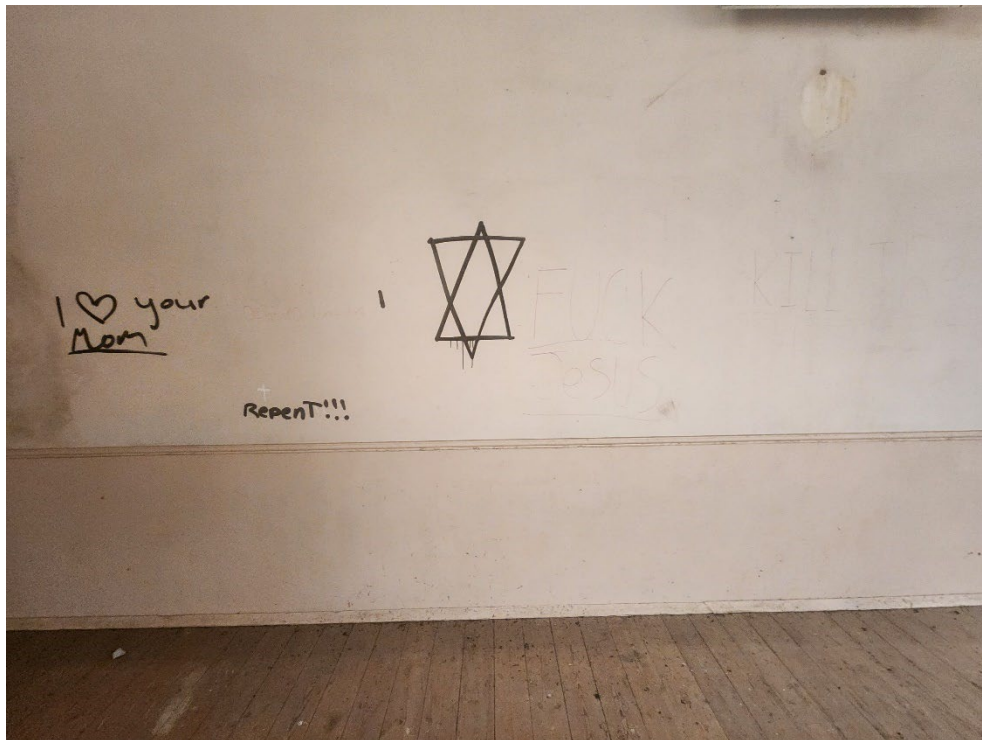


































PLN22/0401**19A Camp Street, Daylesford****Response to objections****1. Excessive height**

- Height of the development is an issue despite the exemption from height restrictions due to the proposed group accommodation land use. Does the exemption override the heritage overlay, neighbourhood characteristics and the environmental and landscape considerations.
- Size of development is extreme.
- Overdevelopment of the Wombat Hill gardens precinct.
- Various reports contained within the application discuss the impact of the development from Camp Street but not the impact from Daly Street, or from the Botanic gardens or from other parts of Daylesford including entering the town from Albert Street.
- Visual impact on Wombat Hill given land behind St Andrew's Church will be replaced with a multi-storey development. The large contemporary development Will be visible to persons driving in from Albert Street.

2. Visual bulk / Massing

- Size of the proposed development is concerning
- Visual impact
- The number of units and garage behind the church
- Extent of groundworks on the steep site
- Visual impact (i.e. should not be seen when entering town from the west)
- The visual impact toward Wombat Hill would be compromised by the development's size

Response

The proposal is a variation on an already approved development which has already had a permit issue for a similar proposal in principle.

The amended proposal maintains a similar scale, massing, and intensity that was considered appropriate previously.

Due to the siting, topography and recessed nature of the new built form the proposal will sit comfortable in the area and where views of the proposal are available, they will generally be filtered or available at distance.

3. Ground stability

- Potentially unstable site due to ventilation and mining shafts.

Response

An assessment of the site's geotechnical conditions and a commensurate structural engineering design that accounts for the ground conditions will be commissioned during the Building Permit application process.

4. Absence of affordable accommodation

- Proposal doesn't include any long-term affordable accommodation or social housing.

- No provision for long-term affordable accommodation or social housing needed in the Shire.

Response

There are no provisions in the planning scheme requiring, nor is it the responsibility of the developer to provide affordable or social housing as part of their planning permit application.

However, the provision of dedicated purpose built short stay accommodation housing seeks to satisfy market demand and, in turn assist to reduce the likelihood of existing housing stock being re-purposed for this use (when it could otherwise be occupied by long term owner/tenants).

5. Car parking

- More visitor cars will be parked on the road, realistically making an increasingly busy Camp St a single lane road.
- The developers do not want the accommodation to be classed as a motel / boarding house / bed and breakfast etc and justifies that by not providing any form of breakfast. We have yet to stay in a motel that provides breakfast in room. By keeping the utilities to a minimum it then suggests that guests will be staying for minimal periods, which could be assumed to be one night. If the guests stay a minimum of one night there could be 24 cars at a maximum any night, assuming each person individually arrived at the property.
- Where is the bus parking?
- Why would you have minimal facilities if you wanted people to stay longer? Why is there no discussion of bus tour possibilities?

Response

The proposal provides the required number of car parking spaces in accordance with Clause 52.06 (Car parking) of the Scheme based on the proposed use of the land. In circumstances where the required numbers of car parks available it is unlikely that occupiers would elect to park on street and therefore have to transfer their luggage etc further than required

The traffic assessment submitted with the application notes:

Given the size of the units (one-bedroom or studios) we would expect that they will be occupied by single patrons or couples which are only likely to have one vehicle with them for the duration of their stay. Accordingly, we expect that each unit will generate a demand for up to one car parking space when occupied.

In the event that all units on-site are occupied, a demand for up to 12 spaces could be generated by the site.

There are likely to be occasional demands generated by property managers, cleaners or maintenance staff but these demands are likely to occur at times when the units are not occupied and we don't anticipate that they will overlap with peak patron demands.

The nature of the land use is such that it is not anticipated that visitors will be a likely occurrence. In the event that occupants are visited, there is acceptable kerbside car parking available within the street.

We note that it is not uncommon for visitors of single residential dwellings, multi-unit developments or apartment developments to park in an adjacent public street and the proposed arrangement is not considered to be dissimilar to this accepted arrangement.

There is no provision in the scheme that requires consideration of bus parking on either the site or adjacent public road, furthermore it is not anticipated that clientele will travel to the site by bus.

6. Waste management

- Rows of rubbish bins left out after collection or wrong bins left out overflowing with rubbish blown along gutters and the street.
- What is a bin tug and who is going to ensure bins are taken down and brought back up after collection to the garage storage area?

Response

There is no demonstrated link between the approval of development applications and a lack of waste management.

Any future issues related to unsightly properties and/or nature strips should be reported to Council's Local Laws Unit for investigation when/if they occur.

A bin tug is a mechanical device that assists with the movement of waste receptacles. A maintenance operator will be responsible for operating the bin tug to transport the bins for collection and storage.

We note that it is not in the interest of the operator for the property to be blemished by unsightly waste management.

7. Traffic

- Increased traffic
- How is the traffic for this motel style accommodation to be managed with an increasing amount of traffic flooding Camp St to avoid the market and Vincent Street bottle neck? There are no plans showing access to the motel to be from Daly Street via Garden Lane. In historic precincts the planning prefers back street access to commercial developments There is no suggestion that traffic management will be part of the development and that buses could only come via Daly Street, not Camp Street to enable residents to live without being on a major traffic diversion. We are new arrivals (permanent residents) of Camp Street and have noted changes already in the use of Camp Street as a major diversional road from Vincent Street. The amount of traffic has increased exponentially in the last 4 months. The use of Camp Street is mainly delivery vehicles, tradies and transports which even stay overnight. For a residential neighbourhood the street seems to be overwhelmed by other streets traffic movement problems.
- In the cultural heritage management plan (included in the permit application), concept drawings indicate that services parking will be at the rear of the development. Can the developer please confirm this services parking is no longer proceeding in any future version of the development?

Response

The proposed development will likely produce a modest increase in the number of local vehicle movements after the development is complete. The increase is not likely to result in unacceptable traffic congestion in the area given that the road network is fully constructed to accommodate the increase and present volumes are well below the environmental capacity of the road network. The site is an approximate 350 metres walk from the main street of Daylesford and this will reduce the number of traffic movements generated once occupants park on site.

We note that our consulting traffic engineers have not identified any issues with the volume of anticipated vehicle movements which is understandable given the road network is clearly operating well below its design capacity. It is therefore considered that the increased traffic movement associated with the development can be readily accommodated in the surrounding street network.

A revised parking layout has been provided to Council.

8. Water/Energy efficiency

- The development did not pass the potable water use reduction – attained 40% and need 50% to pass.

- The development didn't pass the thermal performance rating – attained 37% and need 50% to pass
- The application mentions the potential use of rainwater tanks as part of its water use management but I couldn't locate the tanks on the drawings. In the town planning report (page 29) it states: "The site has sufficient capacity to provide appropriate treatment measures (such as rainwater tanks) to off-set areas of hard-standing. A MUSIC modelling report (Xstruct) and Sustainable Design Assessment (Blue Bee) forms part of these submissions."
- The application states that the development will be using high-rating water taps for water efficiency. Looking at the drawings, can you please confirm (or otherwise) that there are spa baths on the terraces at the rear of the development? If so, what is the water management strategy for these spas, and how will the noise from these terraces be managed?

Response

A BESS Report and STORM rating report have been prepared for the development, which demonstrate that best practice sustainability and stormwater management standards can be achieved.

It is typical for Council to endorse the above-mentioned reports as this ensures that the commitments within them are adhered to by the developer.

In addition to the above-mentioned reports, which are a standard requirement in accordance with Clause 22.12 (Environmentally Sustainable Development) of the Scheme, the development will be subject to additional sustainability requirements at the building permit stage.

The provision of new units that meet the current best practice standards for sustainability and stormwater management are considered to be an improved environmental outcome for the site.

9. Drainage

- What will the excavation and redirection of drainage do to the hill and houses below and to the south of the basement and easement?
- Noting that the basement of the Rex had water issues, and it is on the same side of the hill.
- There is a drainage easement along the entire south side of the development site. What happens to the drainage if the basement carpark is built, and will the retaining walls of the development prevent subsidence from the mullock heap, and degradation of the mullock heap, from both the excavation works and redirection of drainage?

Response

It is typical for a condition to be included on any approval to require the submission of engineering drawings prepared by a civil engineer that demonstrate that the development will be graded and drained to Council Engineering Unit's satisfaction. The permit applicant accepts this obligation.

The basement walls will be designed to prevent leaching and to a standard deemed acceptable by a suitably qualified structural engineer.

10. Quality of build

- The development is only costing \$4 million. That is about the cost of 2 luxe houses. The question must be asked re the longevity of the development. It is unbelievably expensive to comply with heritage considerations thus most of the money will go on the church development and preservation. The rest are units which will date and deteriorate quickly becoming cheap and ordinary accommodation.

Response

There are no provisions in the Planning Scheme that regulate the use of one material over another with respect to combustibility. This is a matter for consideration during the Building Permit application process.

The external materials have been considered in relation to the design detail and neighbourhood character requirements of the Scheme and are considered to comply with those provisions.

11. Construction methodology (vehicle access and delivery of goods)

- If a revised version of the development proceeds, how is the developer going to get building materials onto the site, and how is the heavy machinery and removal of materials going to be performed when excavating the site? Can you please confirm that all construction and access will be via Camp Street?
- Again, I refer you to the photo taken in January 2022 (refer earlier) showing land cleared behind the church, and all work was done via the unmade road leading up to Daly Street and the Convent Gallery and Botanic Gardens. Note the truck tyre marks on the tailings/mine shaft area. Further, Daly Street has a road weight limit which precludes heavy machinery and trucks using Daly Street, which is the access point for Garden Lane.
- I am sceptical about the repeated statements in the application that the unmade government road (known as Garden Lane) will not be accessed, or used, during construction, or after construction.
- In the cultural heritage management plan (included in the permit application), concept drawings indicate that services parking will be at the rear of the development. Can the developer please confirm this services parking is no longer proceeding in any future version of the development?
- When the developers cleared the rear of the block in December 2021/January 2022, including demolishing the church hall, and removing all of the trees from the rear of the block, they had trucks using the unmade road off Daly Street, which caused severe degradation of that road, and the trucks and excavators were very close to the heritage mine shaft and tailings (refer my earlier comments regarding Heritage Victoria consent) and in some instances, disturbed the tailings.

Response

The site abuts Garden Lane and there is nothing to preclude construction vehicles accessing the site via a government (public) road, nor are we aware of any signage or physical barriers to prohibit access to the site via this public road.

The proposal does not seek vehicle access from Garden Lane or services parking at the rear (eastern end) of the site.

It is routine that projects such as these are subject to a requirement to prepare a construction management plan to the council's satisfaction. This construction management plan is most appropriately prepared as a condition of permit once a builder is appointed (but before the commencement of works). The construction management plan will regulate all of the matters in this concern including access, hours etc.

12. Tree removal

- Removal of trees will greatly impact neighbour's privacy.

Response

One tree group (Tree Group 2) and one individual tree (Tree No. 12) are proposed to be removed.

Both Tree Group 2 and Tree No. 12 are located adjacent to proposed and existing single storey built form respectively and it is considered that potential views of neighbouring properties from these ground floor level locations will be obscured by the existing boundary fences and proposed landscaping.

13. Land use

- The proposed development seems intent on keeping the units or “group accommodation” with minimal provisions i.e. no proper kitchen or kitchenette in any of the units, and no laundry facilities in any unit nor available for communal use.

Response

We are not aware of any requirement of the Planning Scheme that requires the provision of a specific type of kitchen or laundry facilities for private or communal use. The facilities are consistent with the type of short stay accommodation proposed and occupants are expected to take advantage of the many food outlets within the area which will contribute significantly to the local economy.

14. Management of the going concern

- The developers will no doubt contract out or sell the running of the property. The lucky winners will then want to maximise their return by a constant turnover of guests which would destroy the residential neighbourhood with guests having no regard for the permanent residents maintaining the heritage nature of the street.
- Shouldn't motel or “group accommodation” developments be on the main roads thus not destroying the ambience of the historic enclave.
- If this section of Camp Street becomes unliveable there will be no permanent residents overseeing and caring for this beautiful historic area.

Response

We are not aware of any requirement of the Planning Scheme that seeks to regulate management of a property, nor are we aware of any connection between occupants staying in a group accommodation unit and the destruction of the surrounding residential neighbourhood irrespective of whether it has heritage qualities or otherwise.

15. Noise

- Noise associated with group accommodation
- Noise from partying on the terraces, spa pools etc
- Noise from cars
- Noise from loud music
- Noise from group accommodation use in proximity to a residential area
- People noise
- Loud music
- Proposal will destroy the quiet neighbourhood

Response

The subject land is located within the Neighbourhood Residential Zone, land that has been specifically zoned for residential use. Within this zone, the use of the land for group accommodation requires planning approval. Decision guidelines do not require consideration of noise impacts from the future use of the land or occupation of the units in assessment of this application. That said, any future noise emissions must be compliant with Environmental Protection Authority (EPA) legislation. Any breach could be raised with the police or Council's Local Law unit.

16. Loss of privacy

- The height of the new buildings will impact neighbour's privacy.

Response

The potential for overlooking as a result of the proposal will be assessed by Council officers. We are not aware of any instances of non-compliance, however, if Council planning officers deem that obscuring of views is necessary then a permit condition can require the inclusion of obscure glazing, or a fixed screen for example to screen potential views.

17. Appearance

- Considering the size of the development, why are the stairs of the proposed development built external to the building, and in concrete? In my opinion, the design of the stairs makes the rear section of the development look like a prison, and nor are the stairs respectful of the environmental and neighbourhood character elements. If the development was of a more reasonable size, these stairs would not be necessary, or at least there would be the space to build them internally, or to design something more sensitive to the Wombat Hill Gardens precinct.

Response

The proposal respects the existing neighbourhood character.

18. Overdevelopment

- It is an oversized, overdeveloped use of the land.
- Classification of Group Accommodation seems to advantage the development requirements of landscaping, open space and possibly number of required car parks
- Deterioration of the neighbourhood amenity with loss of long-term residential properties and more short-term overdevelopment
- Loss of streetscape pride within the churches precinct with decreased maintenance of permanent residential gardens and verges
- Development will cause further damage to Camp Street bitumen/mains water lines with increased traffic

Response

The development provides an opportunity for viable adaptive reuse of the historic church on the land retaining the heritage fabric for the benefit of tourism, and Council. Assertions that the proposal is an 'overdevelopment' are not supported by the objective assessment of the building and the limited availability of views to the new fabric proposed.

19. Heritage Matters

- Development is in a church heritage precinct
- Not in keeping with heritage values
- Wombat Hill mines site should not be disturbed (consideration for future world heritage listing)
- Site is of historic church hall should be preserved as green space and suitable signage erected to preserve its history.
- Proposed development is inappropriate for a heritage precinct
- Proposal is without design sensitivity to the existing church and the location
- The Camp Street precinct has heritage and cultural merit which should be preserved for the future benefit of Daylesford.
- Contrary to comment in the town planning report the development does not "site well below" but in fact sits dominantly behind it, destroying the heritage fabric of the Camp Street, and from above (Daly Street and the Botanic gardens), and significantly, from the side (affecting the view and amenity and historic placement of the Daylesford Court House Precinct).

- According to the Heritage Impact Statement contained within the permit application, the developers need to get consent from Heritage Victoria even if they MAY disturb the tailings.
- The application does not note that there is an historic precinct reserve (Daylesford Court House Precinct) adjacent to the proposed development.
- As stated in the Town Planning report (page 27) included in the permit application, "Clause 11.01-1L seeks to encourage development in townships and settlements to be respectful of heritage, environmental and neighbourhood character elements. The site is located within the Historic Town Core of the Daylesford Township".
- Three storey development including basement car park, does not fit within the character or landscape of the hill. This conflict is confirmed within the Heritage Impact Statement, when assessing against the 2006 CMP (3 references on pages 30 and 32 listed).
- The scale and intensity of the use and development of the site will cause irreparable damage to the fragile environment of that section of the hill, especially so close to a historic mine shaft and heritage tailings.
- The developers are going to have to excavate part of the mining talings on the property, even though they state in application documents that the tailings will not be disturbed.
- In the opening letter of the developer's permit application it states that: "The proposal has been modified to show no buildings, works or landscaping disturbance to the tailings," but in the body of the application and in drawings they show that the development of the site, in particular, the basement carpark goes right to the edge of the tailings, and the two storeys above the basement carpark are directly adjacent to the tailings. It is impossible to build an underground carpark right to the edge of the tailings and to not disturb those tailings – footings/foundations/services. Arguably, this is a cynical approach by the developer to avoid having to seek approval from Heritage Victoria and could even be suggested, a sign of disrespect to the important role of Heritage Victoria. To further illustrate the risk to disturbing the tailings, refer photo below showing the rear of the church when they cleared the rear of the block in December 2021/January 2022, and the truck marks indicating heavy machinery driving over the tailings.
- The permit application drawings do not mark the location of the historic mine shaft immediately adjacent to the tailings and to the development site (a photo of the location of the two mine shafts can be found however on page 80 of the Cultural Heritage Management Plan included at the end of the permit application).
- What is the worth of this development for Camp St as an historic and residential area?

Response

Development of this site has previously been approved by Council. The proposal is supported by the Heritage Impact Statement prepared by Lovell Chen and is also supported by Council's heritage advisor.

Adaptive reuse of heritage fabric is encouraged.

20. Neighbourhood Character

- Group accommodation development not in keeping with neighbourhood character
- Height of complex and number of new apartment buildings not appropriate for location
- The extent of the development, including the height of the development, is in conflict with the identified neighbourhood character, heritage, environmental and landscape characteristics.

Response

The photomontages show that the proposed development will be visually recessive and respects the neighbourhood character of the area.

21. Miscellaneous

- Loss of natural and historic splendour of the picturesque town-facing Wombat Hill.

Response

The photomontages show that the visual impact respects the neighbourhood character. Views of the development will be limited to oblique views, glimpses or long distance views where the development is absorbed in the urban form.

- Inconsistency in terms of the land use definition (residential development, hotel, group holiday accommodation) on supporting documents submitted with the application. What is the land use sought?

Response

The proposed use is Group accommodation.

- Adds strain on finances and infrastructure (water, power, road maintenance, weed control, sewage, rubbish collection/disposal) within the town of Daylesford.

Response

This is infill development in an established residential area with access to existing infrastructure. Policy supports infill development in well serviced areas such as this.

- If the development is allowed to be built, does that mean I can build similar multi-unit development on my properties.

Response

Each application is assessed on its own merits.



CC1 - 800x200mm Concrete Column

SITE PLANS

- A00 DRAWING REGISTER
- A01 EXISTING SITE PLAN
- A02 EXISTING FLOOR & ROOF PLANS
- A03 EXISTING / DEMO ELEVATIONS
- A04 PROPOSED SITE WORKS PLAN
- A05 PROPOSED SITE PLAN (Level 1)
- A06 PROPOSED SITE PLAN (Level 2)
- A07 PROPOSED SITE PLAN (Level 3)
- A08 PROPOSED SITE PLAN (Roof)
- A09 PROPOSED SITE ELEVATIONS
- A10 PROPOSED SITE SECTIONS
- A11 PROPOSED SITE PERSPECTIVES
- A12 PHOTO COMPARISON

CHURCH BUILDING

- A13 PROPOSED CHURCH BUILDING - FLOOR PLAN (GF)
- A14 PROPOSED CHURCH BUILDING - FLOOR PLAN (FF)
- A15 PROPOSED CHURCH BUILDING - FLOOR PLAN (ATTIC) & ROOF PLAN
- A16 PROPOSED CHURCH BUILDING - ELEVATION (East)
- A17 PROPOSED CHURCH BUILDING - ELEVATION (South)
- A18 PROPOSED CHURCH BUILDING - ELEVATION (West)
- A19 PROPOSED CHURCH BUILDING - ELEVATION (North)
- A20 PROPOSED CHURCH BUILDING - SECTION AA
- A21 PROPOSED CHURCH BUILDING - SECTION BB & DETAIL B1
- A22 PROPOSED CHURCH BUILDING - DETAILS B2 & B3
- A23 PROPOSED CHURCH BUILDING - SECTION CC & DETAIL C1
- A24 PROPOSED CHURCH BUILDING - SECTION DD
- A25 PROPOSED CHURCH BUILDING - SECTION EE
- A26 PROPOSED CHURCH BUILDING - PERSPECTIVES

BUILDING 1

- A27 PROPOSED BUILDING 1 - FLOOR PLANS
- A28 PROPOSED BUILDING 1 - ELEVATIONS & COLOUR SCHEDULE

BUILDING 2

- A29 PROPOSED BUILDING 2 - BASEMENT & GROUND FLOOR PLAN
- A30 PROPOSED BUILDING 2 - FIRST FLOOR & ROOF PLANS
- A31 PROPOSED BUILDING 2 - ELEVATIONS & COLOUR SCHEDULE

DRIVEWAY

- A32 PROPOSED BUILDING 2 - BASEMENT & GROUND FLOOR PLAN
- A33 PROPOSED BUILDING 2 - FIRST FLOOR & ROOF PLANS
- A34 PROPOSED BUILDING 2 - ELEVATIONS & COLOUR SCHEDULE

TOWN PLANNING
ONLY
NOT FOR CONSTRUCTION

Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

A00 Drawing Register

SCALE: **N/A** (SHEET SIZE A2) 16.11.23 REV B



ROBIN LARSEN DESIGN *pty ltd*
ph 0439 383 900 po box 515, daylesford, vic 3460
email: robin@treearc.com.au arbv reg no. 16800

ATTACHMENT 1

2346.91 sqm

291.42 sqm

291.42 sqm (12%)

1864.67 sqm (79%)

DOTTED LINE INDICATES SRZ.
REFER TO ARBORIST REPORT
FOR FURTHER INFORMATION.

CAMP STREET

**existing
church
building:**
(unoccupied)

UNMADE GOVT.
ROAD

DRAINAGE EASEMENT

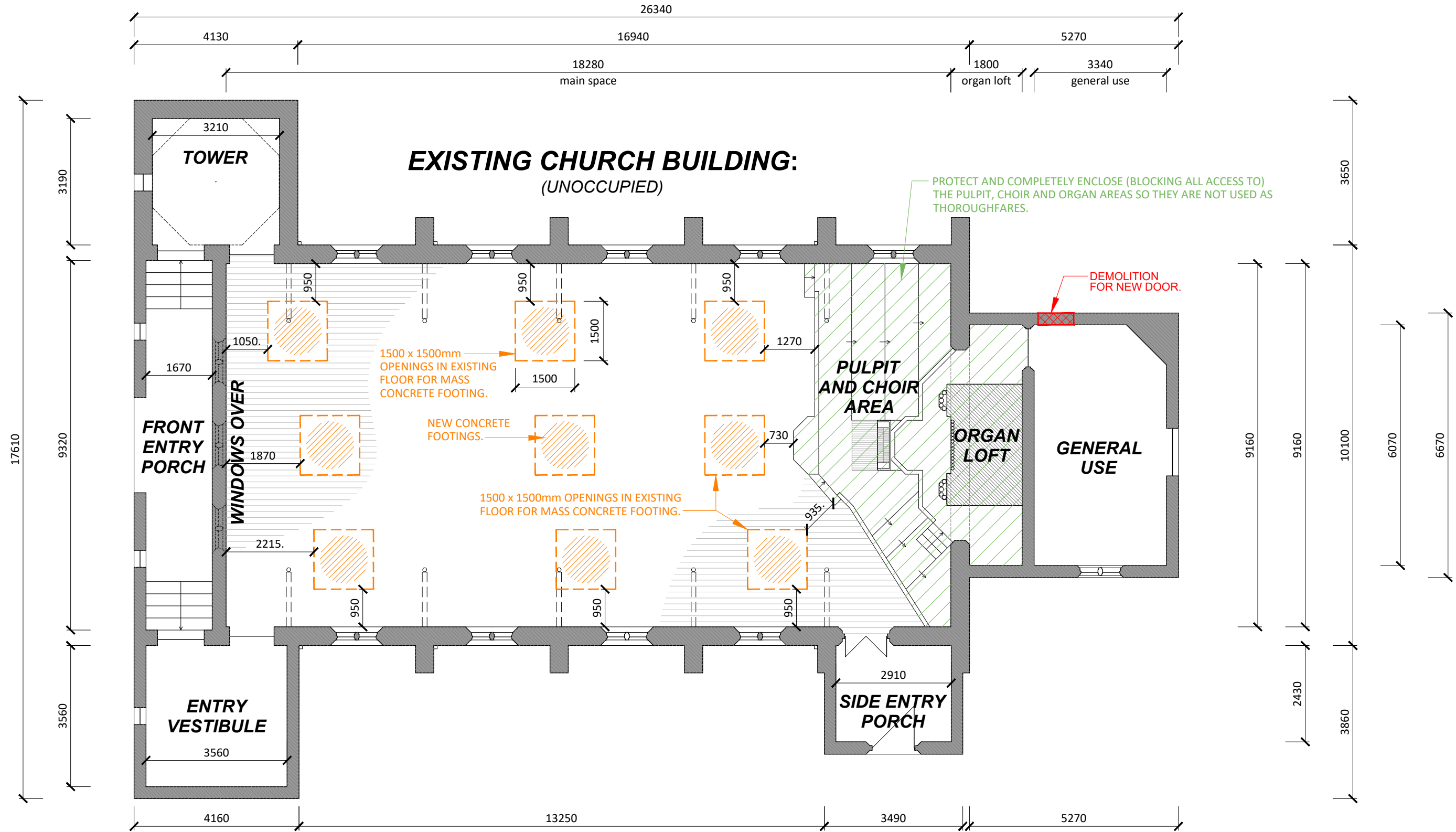
**TOWN PLANNING
ONLY
NOT FOR CONSTRUCTION**



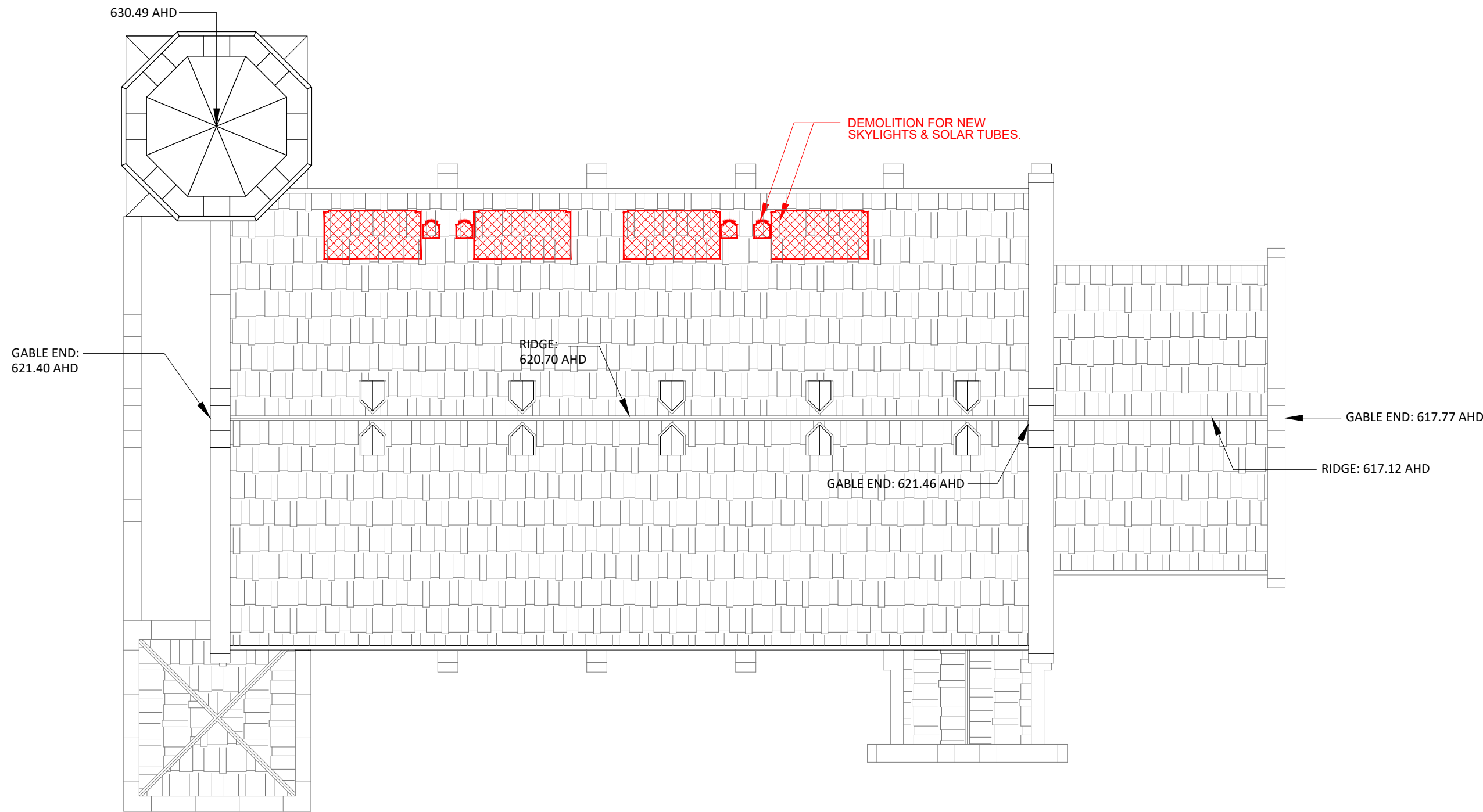
ROBIN LARSEN DESIGN pty ltd
ph 0439 383 900 po box 515, daylesford, vic 3460
email: robin@treearc.com.au arbv reg no. 16800

TREE NOTES:
Structural and tree protection zones as per
Arboricultural and Impact Assessment Report by
Tree Logic

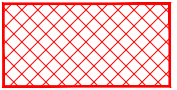

FLOOR PLAN



ROOF PLAN



DEMOLITION KEY:

-  DENOTES AREA OF EXISTING BUILDING TO BE REMOVED FOR NEW DOOR, LOUVRES, SKYLIGHTS AND SOLAR TUBES.
-  DENOTES AREA OF EXISTING FLOOR BOARDS TO BE CUT, REMOVED, LABELLED AND REPLACED UPON COMPLETION OF CONCRETE FOOTINGS.

DEMOLITION & PROTECTION WORKS

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE NCC AND ALL RELEVANT AUSTRALIAN STANDARDS (AS AMENDED). ALL WORKMANSHIP AND PRECAUTIONS SHALL BE TO BEST PRACTICE.

PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES.

THE DEMOLITION MUST NOT BE COMMENCED UNTIL THE PRECAUTIONARY MEASURES HAVE BEEN INSPECTED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR.

DURING THE PROGRESS OF DEMOLITION, THE WORKS SHALL BE UNDER THE CONTINUOUS SUPERVISION OF THE DEMOLISHER.

PRIOR TO ANY WORKS, THE CONTRACTOR SHALL CONSTRUCT THE FOLLOWING TEMPORARY PROTECTION MEASURES:

- FLOOR PROTECTION, COMPRISING OF PLYWOOD & A HEAVY DUTY MOISTURE RESISTANT FOAM MATT UNDERLAY, TO THE MAIN CHURCH SPACE AND ALL TRAFFICABLE AREAS USED AS THOROUGHFARES AND WHERE WORKS OCCUR. CONTINUE THE FOAM UNDERLAY UP FLOOR/WALL JUNCTIONS.
- FENCES, AWNINGS, HOARDINGS, BARRICADES AND THE LIKE MUST BE INSTALLED TO PROTECT ALL EXISTING WALLS, WINDOWS AND CEILINGS.
- THE EXISTING PULPIT, CHOIR AND ORGAN AREAS IS PROTECTED AND ENCLOSED (BLOCKING ALL ACCESS) SO IT IS NOT USED AS A THOROUGHFARE DURING PERIODS OF DEMOLITION & CONSTRUCTION WHEN ACCESS IS NOT REQUIRED.

DEMOLISHED MATERIAL SHALL NOT BE ALLOWED ON ANY EXISTING FLOOR OR STRUCTURE AND SUCH MATERIAL SHALL NOT BE PILED OR STACKED THAT IT WILL PLACE ANY PERSON IN DANGER OR DAMAGE ANY PART OF THE EXISTING BUILDING. ALL DEMOLISHED MATERIAL SHALL BE REMOVED AS SOON AS PRACTICABLE FROM THE SITE UNLESS IT IS MARKED INTENDED FOR REINSTATEMENT.

ALL WORKS ARE TO BE BY HAND INCLUDING THE USE OF HAND-HELD SMALL MECHANICAL EQUIPMENT AS NECESSARY TO CREATE THE DEPTH OF THE FOOTINGS. HEAVY MACHINERY IS NOT PERMITTED WITHIN THE CHURCH BUILDING.

CONCRETE FOR THE NEW FOOTINGS IS TO BE PUMPED IN AND ALL SPILLAGE CLEANED UP IMMEDIATELY.

IT IS LIKELY THAT CONCRETE FOOTINGS OF AT LEAST 1500 DIAMETER WILL BE REQUIRED TO SUPPORT THE STEEL COLUMNS THAT WILL FORM THE BASE OF THE SUBSTANTIAL THREE-LEVEL STEEL STRUCTURE OF THE NEW APARTMENTS. THE OPENINGS SHOWN ARE THE MINIMUM NECESSARY TO ALLOW ACCESS FOR EXCAVATION AND INSTALLATION. THE TIMBER FLOORBOARDS, JOISTS AND BEARERS REMOVED WILL BE PRESERVED AND REINSTATED BACK TO THE EDGES OF THE NEW COLUMNS WHEN THEY ARE IN PLACE. AIR FLOW WILL BE MAINTAINED UNDER THE EXISTING TIMBER FLOOR AND OVER THE TOP OF THE FLOOR, THAT IS BELOW THE NEW FLOORS CREATED FOR THE NEW APARTMENTS.

IN SOME LOCATIONS SUCH AS THE BASE OF THE TOWER, THE TIMBER FLOORS ARE IN A POOR STATE OR THE TIMBERS ARE MISSING. WHERE NECESSARY, FLOORS WILL BE REPAIRED WITH TIMBERS THAT MATCH THE EXISTING TIMBER BOARDS AND STRUCTURAL MEMBERS.

Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

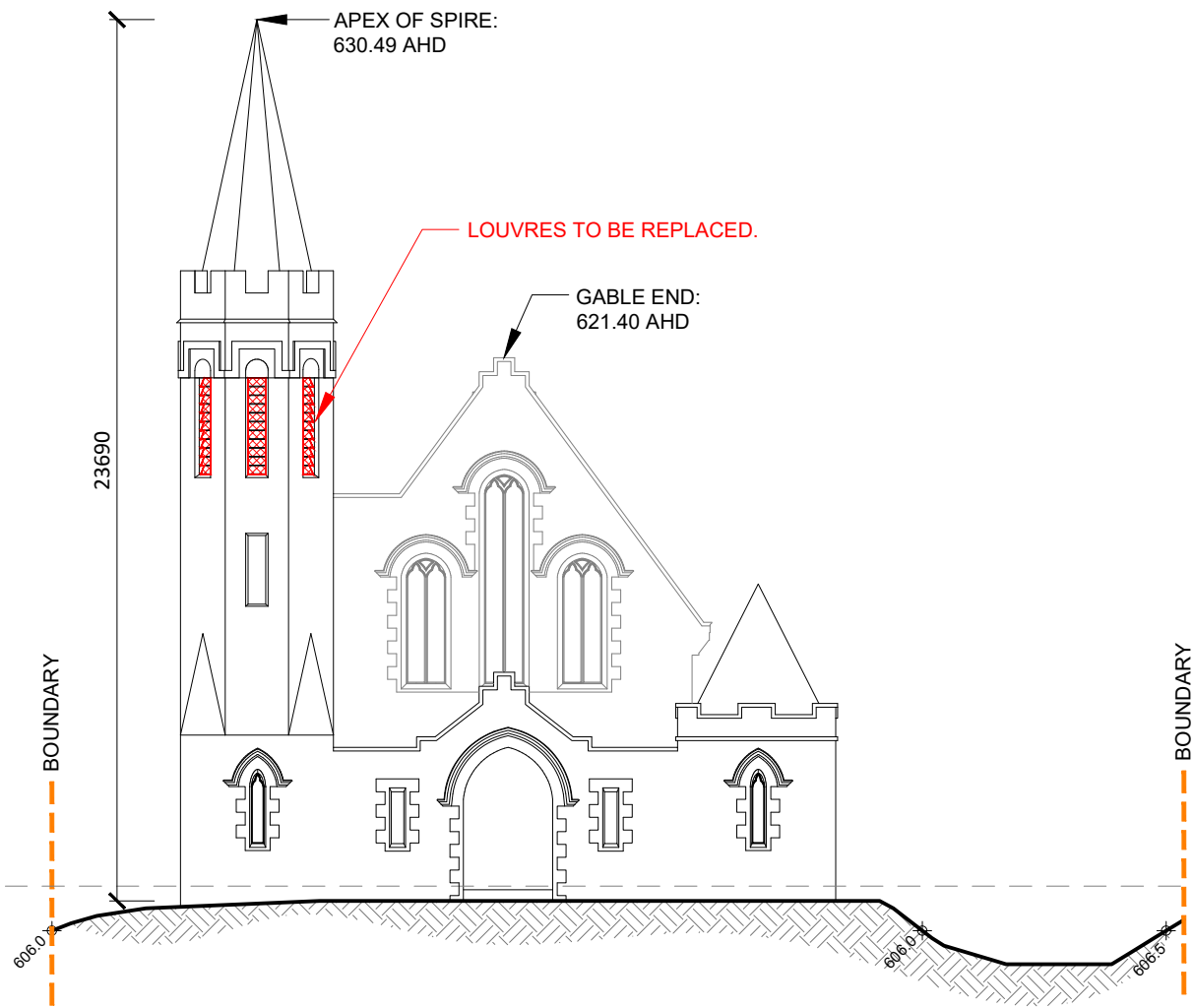
A02 Existing Floor & Roof Plans

SCALE: 1:100 (SHEET SIZE A2) 16.11.23 REV B

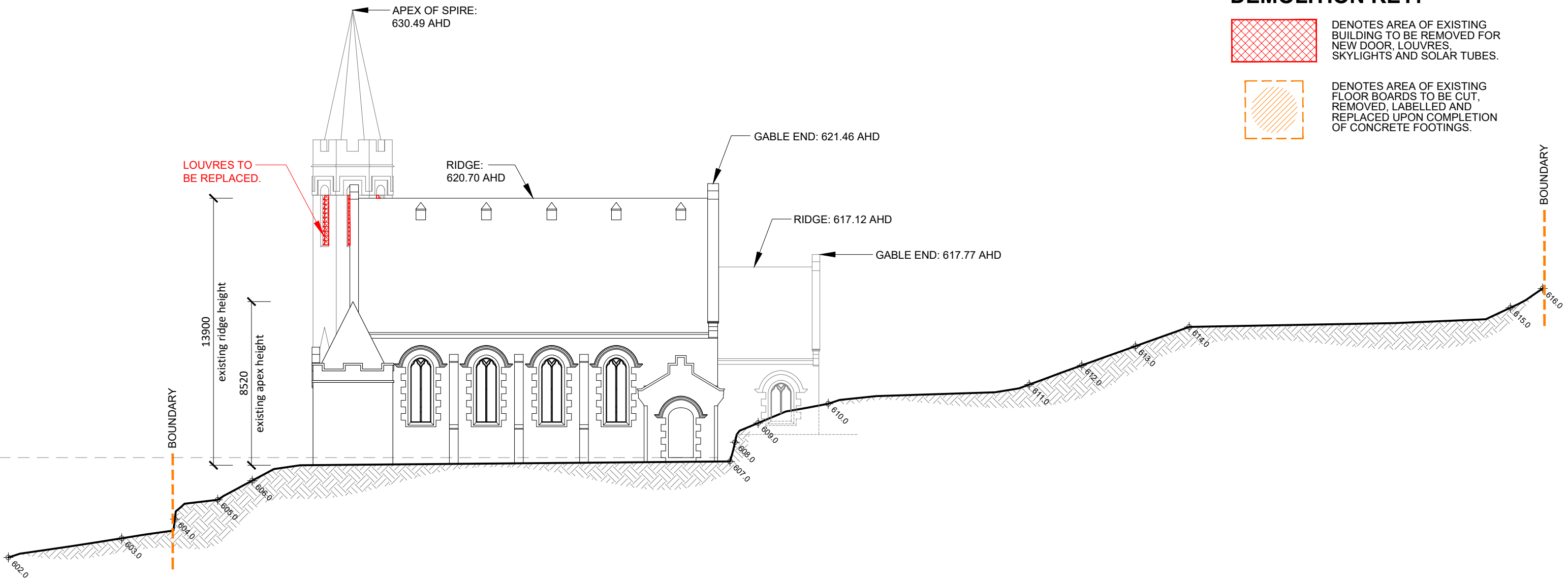

ROBIN LARSEN DESIGN pty ltd
ph 0439 383 900 po box 515, daylesford, vic 3460
email: robin@treearc.com.au arbv reg no. 16800

TOWN PLANNING
ONLY
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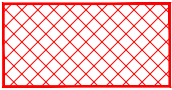

FRONT / EAST ELEVATION



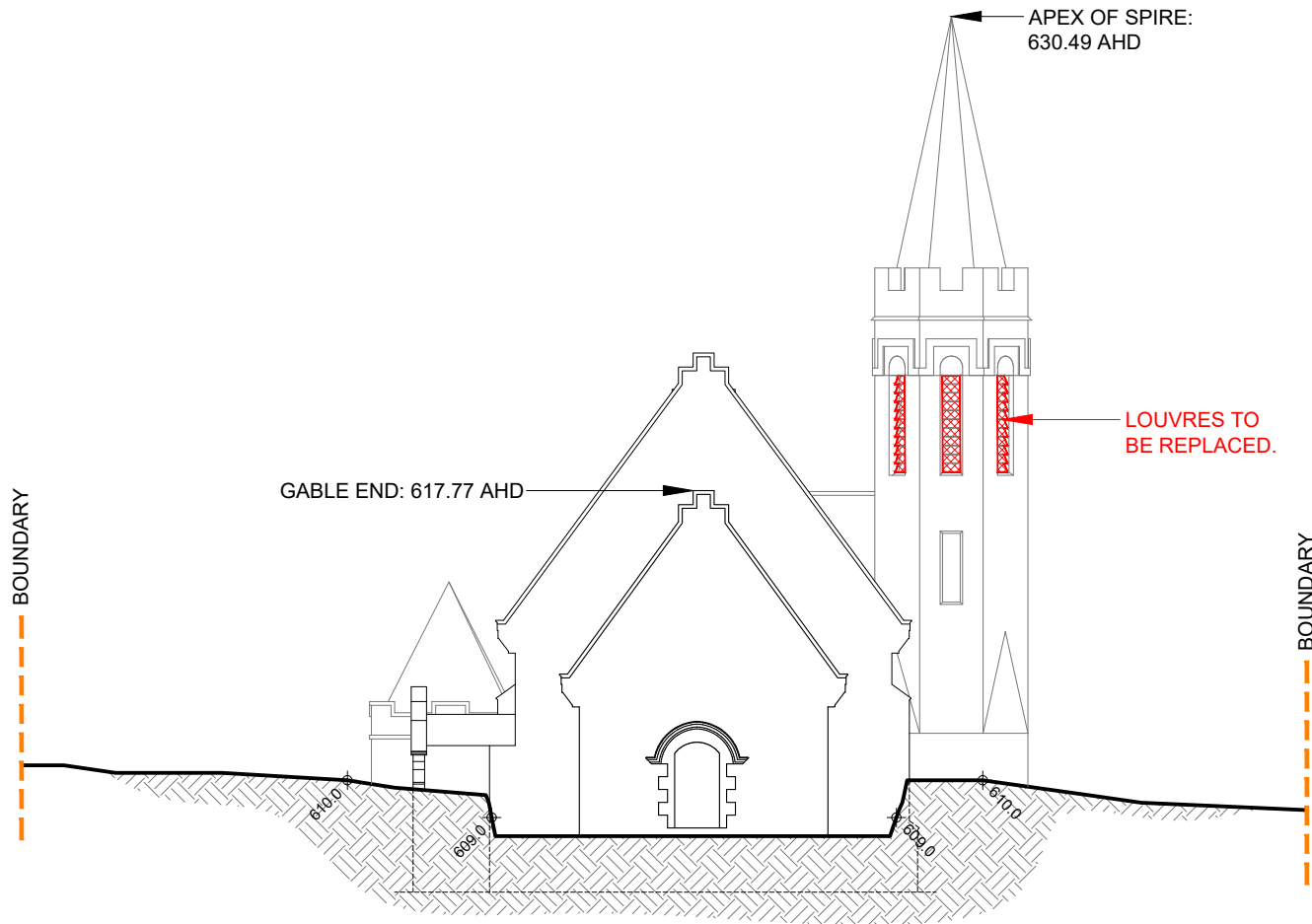
SIDE / SOUTH ELEVATION



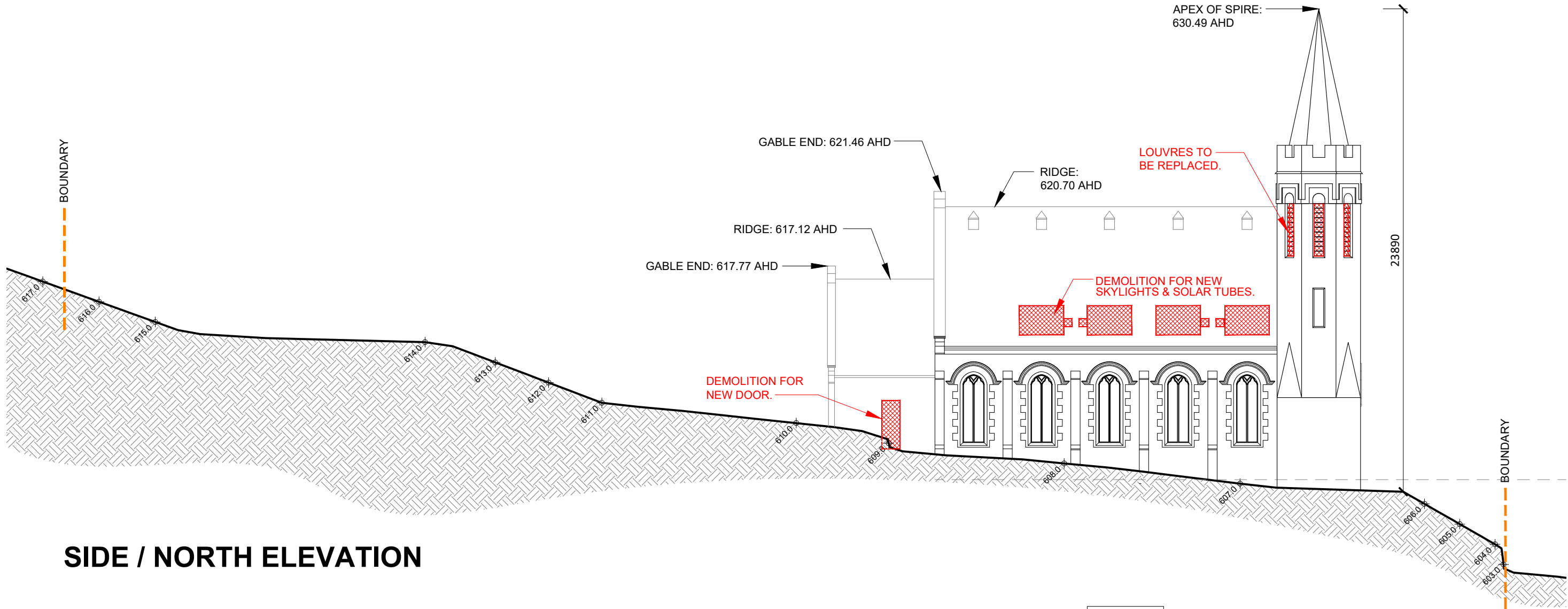
DEMOLITION KEY:

-  DENOTES AREA OF EXISTING BUILDING TO BE REMOVED FOR NEW DOOR, LOUVRES, SKYLIGHTS AND SOLAR TUBES.
-  DENOTES AREA OF EXISTING FLOOR BOARDS TO BE CUT, REMOVED, LABELLED AND REPLACED UPON COMPLETION OF CONCRETE FOOTINGS.

REAR / WEST ELEVATION



SIDE / NORTH ELEVATION



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Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

A03 Existing Elevations

SCALE: 1:200 (SHEET SIZE A2) 16.11.23 REV B

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SITE WORKS KEY:

- DENOTES AREA OF SUBJECT SITE TO BE CUT TO ACCOMMODATE NEW BUILDINGS AND REQUIRED PAVING LEVELS.
- DENOTES AREA OF SUBJECT SITE TO BE BACK FILLED TO ACCOMMODATE REQUIRED PAVING LEVELS.
- DENOTES AREA OF NEW VEHICLE RAMP, GENERALLY TO NATURAL GROUND LEVEL.
- DENOTES EXISTING TREES TO BE REMOVED.

DASHED LINE INDICATES TPZ. REFER TO ARBORIST REPORT FOR FURTHER INFORMATION.

SOLID LINE INDICATES CANOPY. REFER TO ARBORIST REPORT FOR FURTHER INFORMATION.

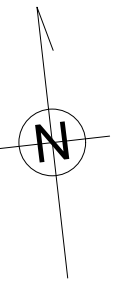
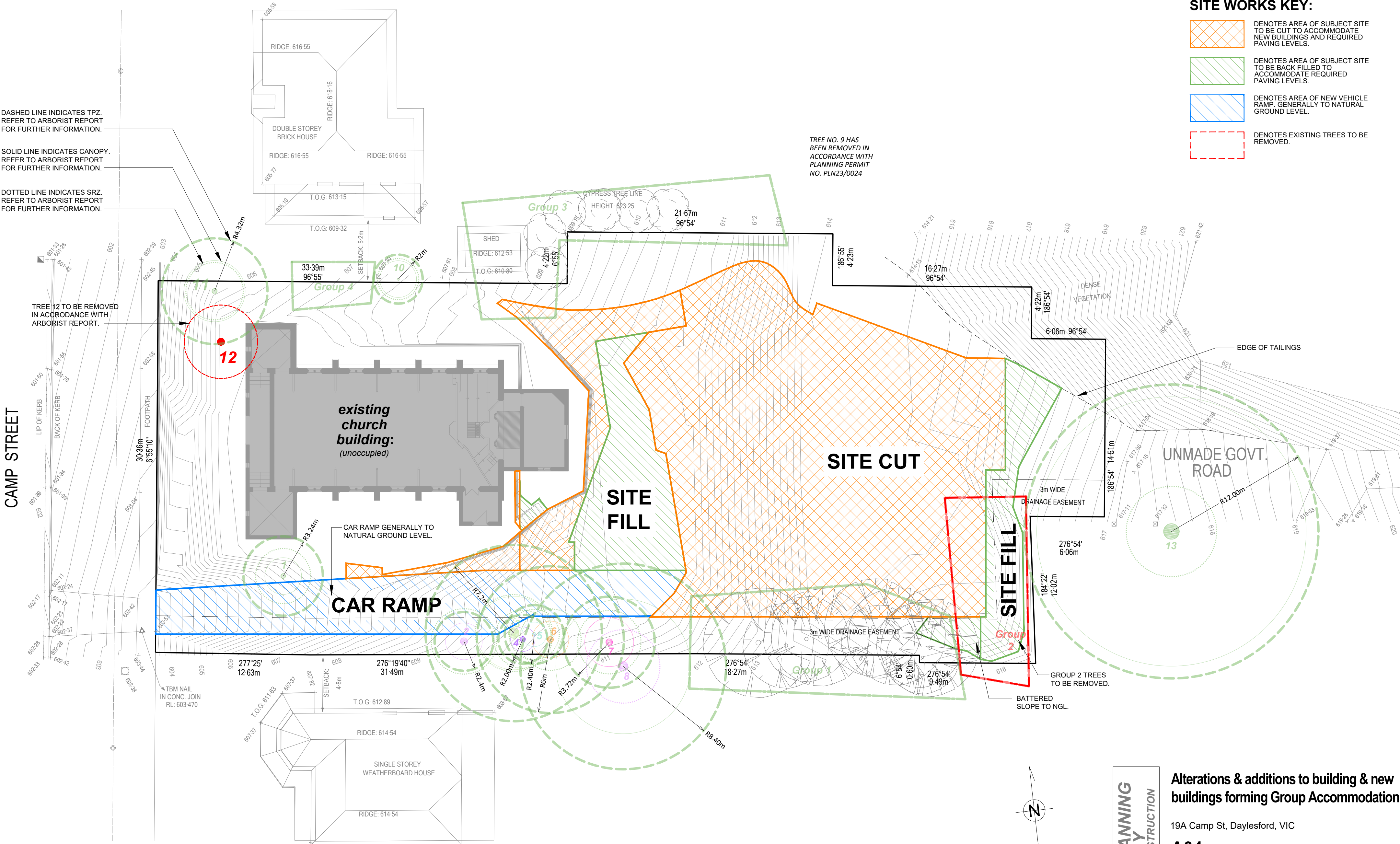
DOTTED LINE INDICATES SRZ. REFER TO ARBORIST REPORT FOR FURTHER INFORMATION.

TREE 12 TO BE REMOVED IN ACCORDANCE WITH ARBORIST REPORT.

TREE NO. 9 HAS BEEN REMOVED IN ACCORDANCE WITH PLANNING PERMIT NO. PLN23/0024

CAMP STREET

TREE NOTES:
Structural and tree protection zones as per Arboricultural and Impact Assessment Report by Tree Logic



TOWN PLANNING
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NOT FOR CONSTRUCTION

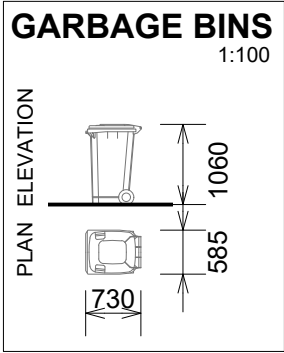
Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

A04 Proposed Site Works Plan

SCALE: 1:200 (SHEET SIZE A2) 16.11.23 REV B

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DASHED LINE INDICATES TPZ.
REFER TO ARBORIST REPORT
FOR FURTHER INFORMATION.

SOLID LINE INDICATES CANOPY.
REFER TO ARBORIST REPORT
FOR FURTHER INFORMATION.

DOTTED LINE INDICATES SRZ.
REFER TO ARBORIST REPORT
FOR FURTHER INFORMATION.

TREE 12 TO BE REMOVED
IN ACCORDANCE WITH
ARBORIST REPORT.

BRICK PIERS TO BE REMOVED
AND CONCRETE STAIRS TO BE
REPOSITIONED FURTHER TO THE
NORTH AS NECESSARY. STEEL
HANDRAIL/S TO BE EXTENDED
TO EDGE OF PROPERTY TO
ALLOW ADEQUATE ACCESS
FROM THE STREET.

PEDESTRIAN SIGHT TRIANGLES.
NO OBSTRUCTIONS ABOVE
900mm FROM FOOTPATH LEVEL.

TREE NOTES:
Structural and tree protection zones as per
Arboricultural and Impact Assessment Report by
Tree Logic

TOTAL SITE AREA

23469.1 sqm

CHURCH BUILDING (TOTAL COVERAGE)

297.02 sqm

EXISTING FOOTPRINT 291.42 sqm
PROPOSED FOOTPRINT 291.42 sqm (NO CHANGE)
INTERNAL APARTMENT AREA 110.92 sqm (EACH FLOOR AVERAGE)
NEW EXTERNAL DECK AREA 24.60sqm

BUILDING 1 (TOTAL COVERAGE)

213.11 sqm

GROUND FLOOR AREA (L1)
FIRST FLOOR AREA (L2)
NORTHERN BALCONY AREA (L2)
SOUTHERN ENTRY BALCONY AREA (L2)

BUILDING 2 (TOTAL COVERAGE)

345.42 sqm

BASEMENT CAR PARK FLOOR AREA (L1)
GROUND FLOOR AREA (L2)
GF NORTHERN TERRACES (L2)
GF SOUTHERN COURTYARDS (L2)
OUT-BUILDING (STAIRS) FLOOR AREA (L2)
FIRST FLOOR AREA (L3)
FF EASTERN TERRACES (L3)
FF WESTERN BALCONIES (L3)

SITE COVERAGE (ABOVE GROUND - EXCLUDES BASEMENT)

855.55 sqm (37%)

SITE COVERAGE (INCLUDES BASEMENT)

979.66 sqm (42%)

TOTAL GARDEN AREA

1,252.64 sqm (53%)

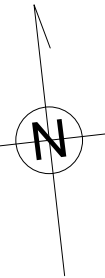
TOTAL PERMEABLE AREA

1,107.66 sqm (47%)

PERMEABLE LANDSCAPED AREA
PERMEABLE DRIVEWAY AREA

931.79 sqm
175.87 sqm

TREE NO. 9 HAS
BEEN REMOVED IN
ACCORDANCE WITH
PLANNING PERMIT
NO. PLN23/0024



TOWN PLANNING
ONLY
NOT FOR CONSTRUCTION

MATERIAL SCHEDULE (SITE WORKS)



DRIVEWAY
GRASSED PERMEABLE
DRIVEWAY



RETAINING WALL
SLOPED STONE RETAINING
WALL



BRICK PAVING
AUSTRAL
HAWTHORN - BLACK



BALUSTRADES
POWDER COATED VERTICAL
STEEL: WOODLAND GREY



PERMEABLE PAVING
GRAVEL SURFACE PATHWAY

Alterations & additions to building & new
buildings forming Group Accommodation.

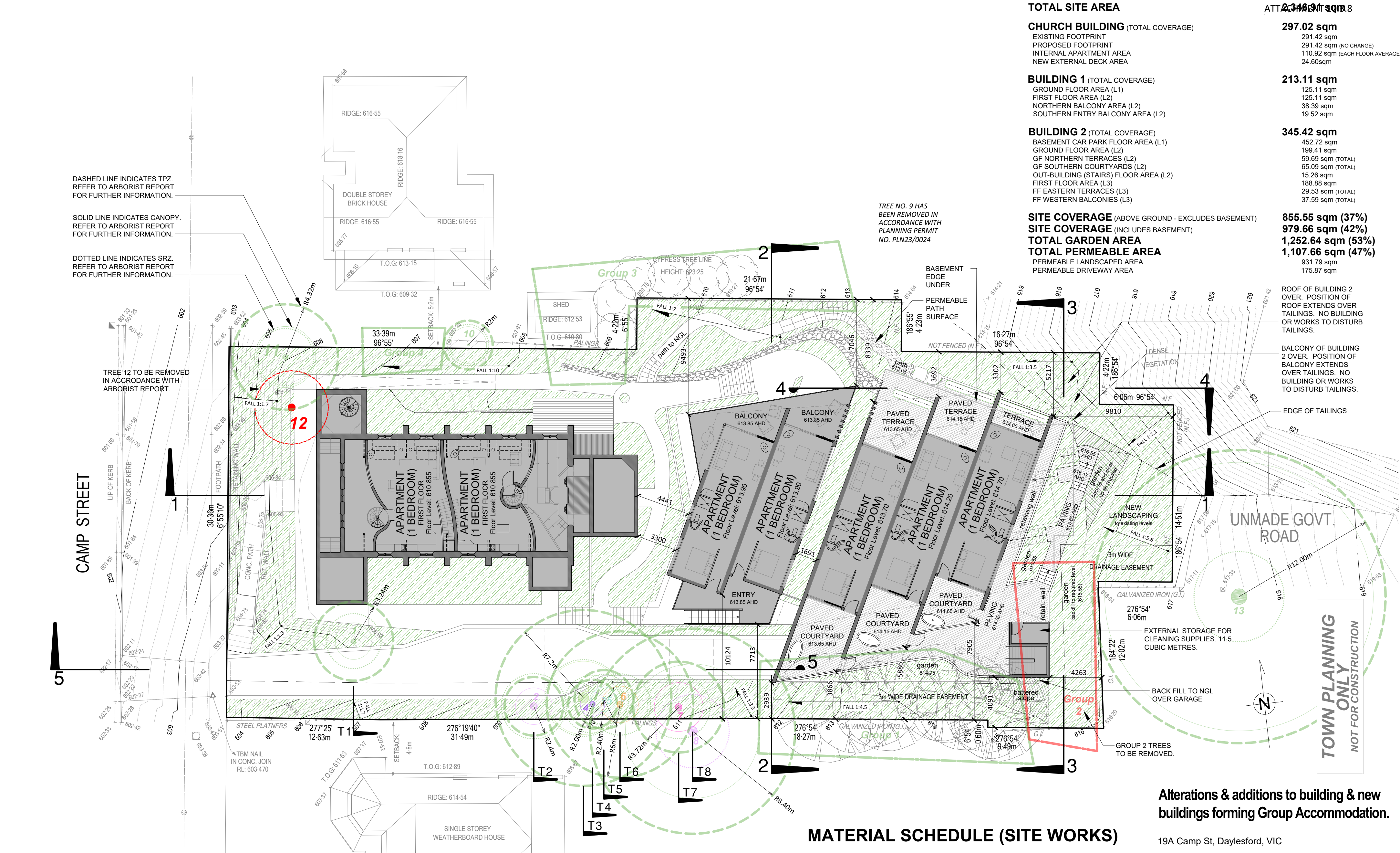
19A Camp St, Daylesford, VIC

A05 Proposed Site Plan (Level 1)

SCALE: 1:200 (SHEET SIZE A2) 16.11.23 REV B

ROBIN LARSEN DESIGN pty ltd
ph 0439 383 900 po box 515, daylesford, vic 3460
email: robin@treearc.com.au arb reg no. 16800

TOTAL SITE AREA	2,346.91 sqm
CHURCH BUILDING (TOTAL COVERAGE)	297.02 sqm
EXISTING FOOTPRINT	291.42 sqm
PROPOSED FOOTPRINT	291.42 sqm (NO CHANGE)
INTERNAL APARTMENT AREA	110.92 sqm (EACH FLOOR AVERAGE)
NEW EXTERNAL DECK AREA	24.60sqm
BUILDING 1 (TOTAL COVERAGE)	213.11 sqm
GROUND FLOOR AREA (L1)	125.11 sqm
FIRST FLOOR AREA (L2)	125.11 sqm
NORTHERN BALCONY AREA (L2)	38.39 sqm
SOUTHERN ENTRY BALCONY AREA (L2)	19.52 sqm
BUILDING 2 (TOTAL COVERAGE)	345.42 sqm
BASEMENT CAR PARK FLOOR AREA (L1)	452.72 sqm
GROUND FLOOR AREA (L2)	199.41 sqm
GF NORTHERN TERRACES (L2)	59.69 sqm (TOTAL)
GF SOUTHERN COURTYARDS (L2)	65.09 sqm (TOTAL)
OUT-BUILDING (STAIRS) FLOOR AREA (L2)	15.26 sqm
FIRST FLOOR AREA (L3)	188.88 sqm
FF EASTERN TERRACES (L3)	29.53 sqm (TOTAL)
FF WESTERN BALCONIES (L3)	37.59 sqm (TOTAL)
SITE COVERAGE (ABOVE GROUND - EXCLUDES BASEMENT)	855.55 sqm (37%)
SITE COVERAGE (INCLUDES BASEMENT)	979.66 sqm (42%)
TOTAL GARDEN AREA	1,252.64 sqm (53%)
TOTAL PERMEABLE AREA	1,107.66 sqm (47%)
PERMEABLE LANDSCAPED AREA	931.79 sqm
PERMEABLE DRIVEWAY AREA	175.87 sqm



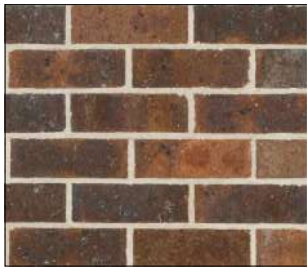
TREE NOTES:
Structural and tree protection zones as per
Arboricultural and Impact Assessment Report by
Tree Logic



DRIVEWAY
GRASSED PERMEABLE
DRIVEWAY



RETAINING WALL
SLOPED STONE RETAINING
WALL



BRICK PAVING
AUSTRAL
HAWTHORN - BLACK

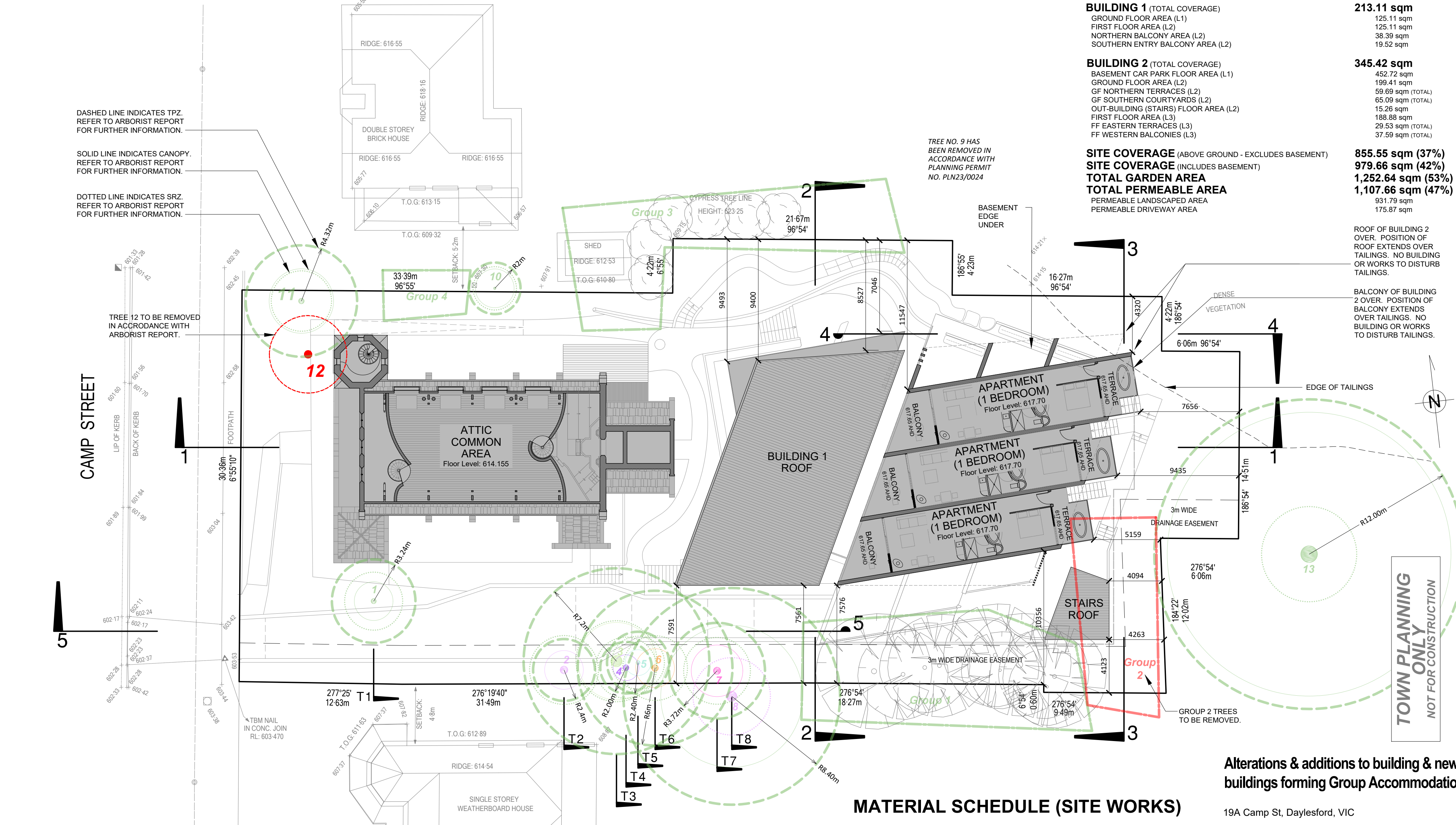


BALUSTRADES
POWDER COATED VERTICAL
STEEL: WOODLAND GREY



PERMEABLE PAVING
GRAVEL SURFACE PATHWAY

TOTAL SITE AREA	2,346.91 sqm
CHURCH BUILDING (TOTAL COVERAGE)	297.02 sqm
EXISTING FOOTPRINT	291.42 sqm
PROPOSED FOOTPRINT	291.42 sqm (NO CHANGE)
INTERNAL APARTMENT AREA	110.92 sqm (EACH FLOOR AVERAGE)
NEW EXTERNAL DECK AREA	24.60sqm
BUILDING 1 (TOTAL COVERAGE)	213.11 sqm
GROUND FLOOR AREA (L1)	125.11 sqm
FIRST FLOOR AREA (L2)	125.11 sqm
NORTHERN BALCONY AREA (L2)	38.39 sqm
SOUTHERN ENTRY BALCONY AREA (L2)	19.52 sqm
BUILDING 2 (TOTAL COVERAGE)	345.42 sqm
BASEMENT CAR PARK FLOOR AREA (L1)	452.72 sqm
GROUND FLOOR AREA (L2)	199.41 sqm
GF NORTHERN TERRACES (L2)	59.69 sqm (TOTAL)
GF SOUTHERN COURTYARDS (L2)	65.09 sqm (TOTAL)
OUT-BUILDING (STAIRS) FLOOR AREA (L2)	15.26 sqm
FIRST FLOOR AREA (L3)	188.88 sqm
FF EASTERN TERRACES (L3)	29.53 sqm (TOTAL)
FF WESTERN BALCONIES (L3)	37.59 sqm (TOTAL)
SITE COVERAGE (ABOVE GROUND - EXCLUDES BASEMENT)	855.55 sqm (37%)
SITE COVERAGE (INCLUDES BASEMENT)	979.66 sqm (42%)
TOTAL GARDEN AREA	1,252.64 sqm (53%)
TOTAL PERMEABLE AREA	1,107.66 sqm (47%)
PERMEABLE LANDSCAPED AREA	931.79 sqm
PERMEABLE DRIVEWAY AREA	175.87 sqm



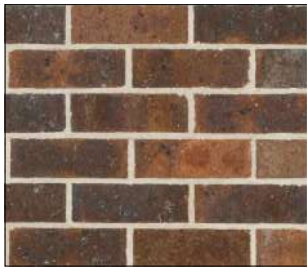
TREE NOTES:
Structural and tree protection zones as per
Arboricultural and Impact Assessment Report by
Tree Logic



DRIVEWAY
GRASSED PERMEABLE
DRIVEWAY



RETAINING WALL
SLOPED STONE RETAINING
WALL



BRICK PAVING
AUSTRAL
HAWTHORN - BLACK



BALUSTRADES
POWDER COATED VERTICAL
STEEL: WOODLAND GREY



PERMEABLE PAVING
GRAVEL SURFACE PATHWAY

MATERIAL SCHEDULE (SITE WORKS)

Alterations & additions to building & new
buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

A07 Proposed Site Plan (Level 3)

SCALE: 1:200 (SHEET SIZE A2) 16.11.23 REV B

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ph 0439 383 900 po box 515, daylesford, vic 3460
email: robin@treearc.com.au arb reg no. 16800

TOTAL SITE AREA	2,346.91 sqm
CHURCH BUILDING (TOTAL COVERAGE)	297.02 sqm
EXISTING FOOTPRINT	291.42 sqm
PROPOSED FOOTPRINT	291.42 sqm (NO CHANGE)
INTERNAL APARTMENT AREA	110.92 sqm (EACH FLOOR AVERAGE)
NEW EXTERNAL DECK AREA	24.60sqm
BUILDING 1 (TOTAL COVERAGE)	213.11 sqm
GROUND FLOOR AREA (L1)	125.11 sqm
FIRST FLOOR AREA (L2)	125.11 sqm
NORTHERN BALCONY AREA (L2)	38.39 sqm
SOUTHERN ENTRY BALCONY AREA (L2)	19.52 sqm
BUILDING 2 (TOTAL COVERAGE)	345.42 sqm
BASEMENT CAR PARK FLOOR AREA (L1)	452.72 sqm
GROUND FLOOR AREA (L2)	199.41 sqm
GF NORTHERN TERRACES (L2)	59.69 sqm (TOTAL)
GF SOUTHERN COURTYARDS (L2)	65.09 sqm (TOTAL)
OUT-BUILDING (STAIRS) FLOOR AREA (L2)	15.26 sqm
FIRST FLOOR AREA (L3)	188.88 sqm
FF EASTERN TERRACES (L3)	29.53 sqm (TOTAL)
FF WESTERN BALCONIES (L3)	37.59 sqm (TOTAL)
SITE COVERAGE (ABOVE GROUND - EXCLUDES BASEMENT)	855.55 sqm (37%)
SITE COVERAGE (INCLUDES BASEMENT)	979.66 sqm (42%)
TOTAL GARDEN AREA	1,252.64 sqm (53%)
TOTAL PERMEABLE AREA	1,107.66 sqm (47%)
PERMEABLE LANDSCAPED AREA	931.79 sqm
PERMEABLE DRIVEWAY AREA	175.87 sqm

DASHED LINE INDICATES TPZ.
REFER TO ARBORIST REPORT
FOR FURTHER INFORMATION.

SOLID LINE INDICATES CANOPY.
REFER TO ARBORIST REPORT
FOR FURTHER INFORMATION.

DOTTED LINE INDICATES SRZ.
REFER TO ARBORIST REPORT
FOR FURTHER INFORMATION.

TREE 12 TO BE REMOVED
IN ACCRODANCE WITH
ARBORIST REPORT.

TREE NO. 9 HAS
BEEN REMOVED IN
ACCORDANCE WITH
PLANNING PERMIT
NO. PLN23/0024

ROOF OF BUILDING 2
OVER. POSITION OF
ROOF EXTENDS OVER
TAILINGS. NO BUILDING
OR WORKS TO DISTURB
TAILINGS.

BALCONY OF BUILDING
2 OVER. POSITION OF
BALCONY EXTENDS
OVER TAILINGS. NO
BUILDING OR WORKS
TO DISTURB TAILINGS.

TOWN PLANNING
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NOT FOR CONSTRUCTION

Alterations & additions to building & new
buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

A08 Proposed Site Plan (Roof)
SCALE: 1:200 (SHEET SIZE A2) 16.11.23 REV B
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email: robin@treearc.com.au arbv reg no. 16800

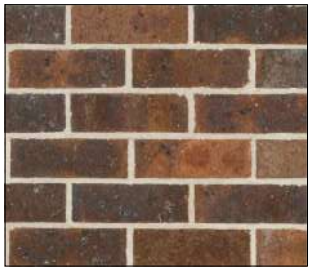
TREE NOTES:
Structural and tree protection zones as per
Arboricultural and Impact Assessment Report by
Tree Logic



DRIVEWAY
GRASSED PERMEABLE
DRIVEWAY



RETAINING WALL
SLOPED STONE RETAINING
WALL



BRICK PAVING
AUSTRAL
HAWTHORN - BLACK

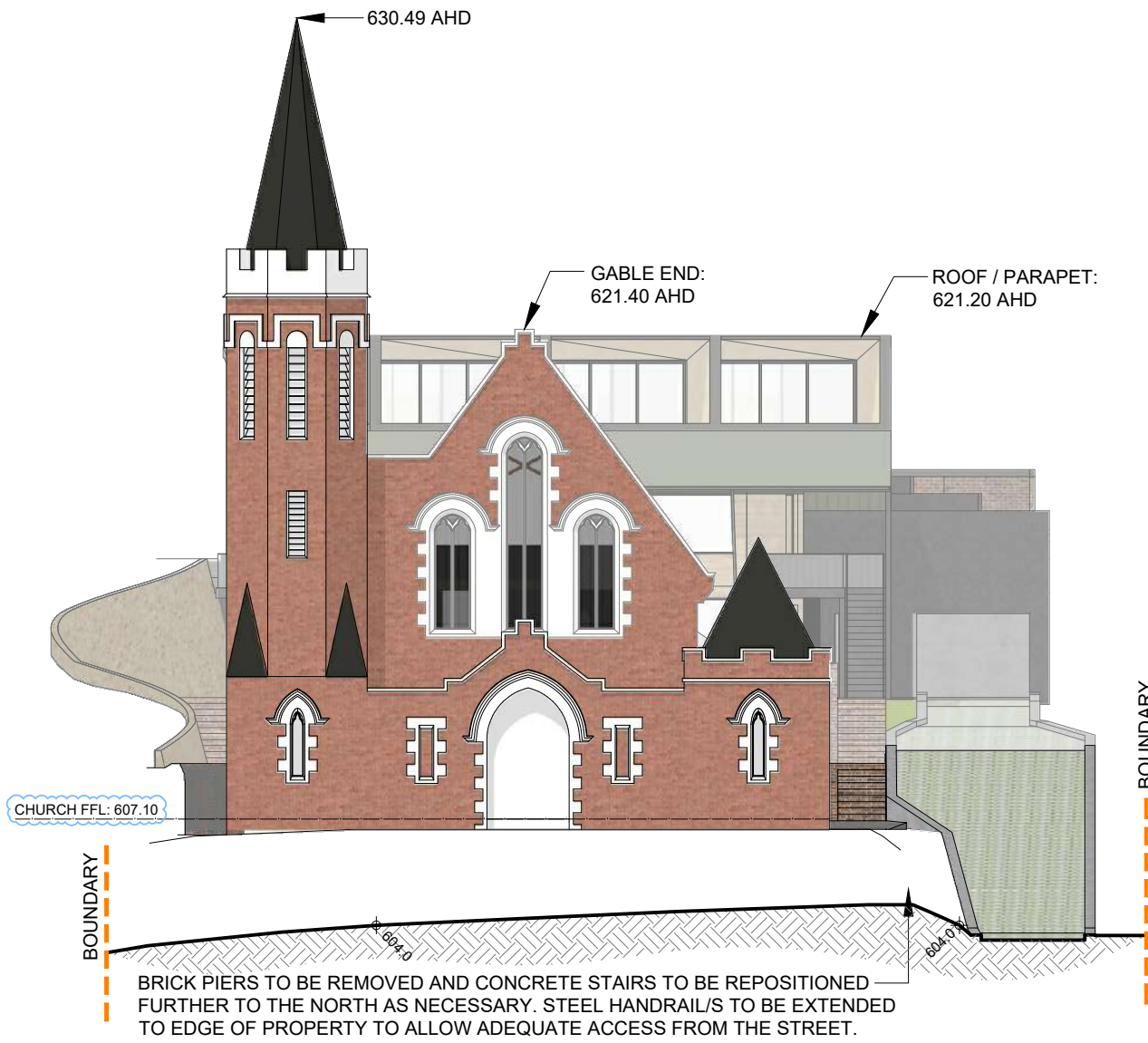


BALUSTRADES
POWDER COATED VERTICAL
STEEL: WOODLAND GREY

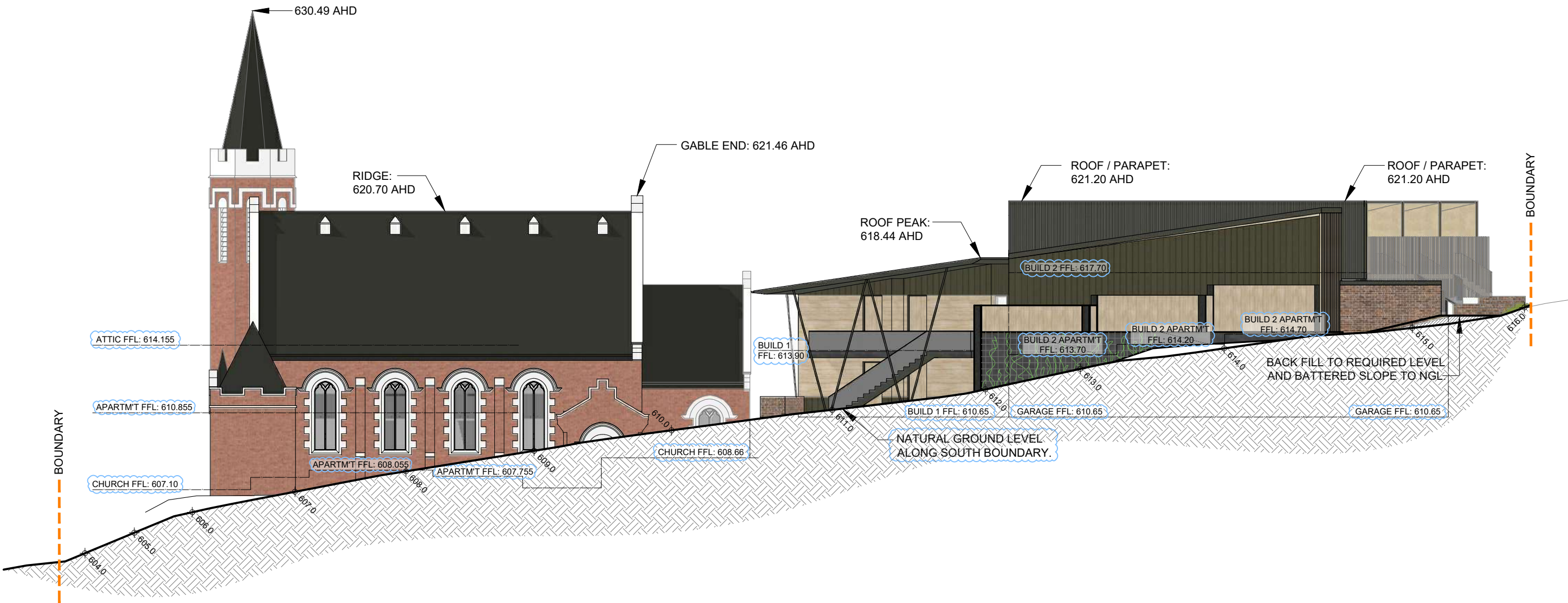


PERMEABLE PAVING
GRAVEL SURFACE PATHWAY

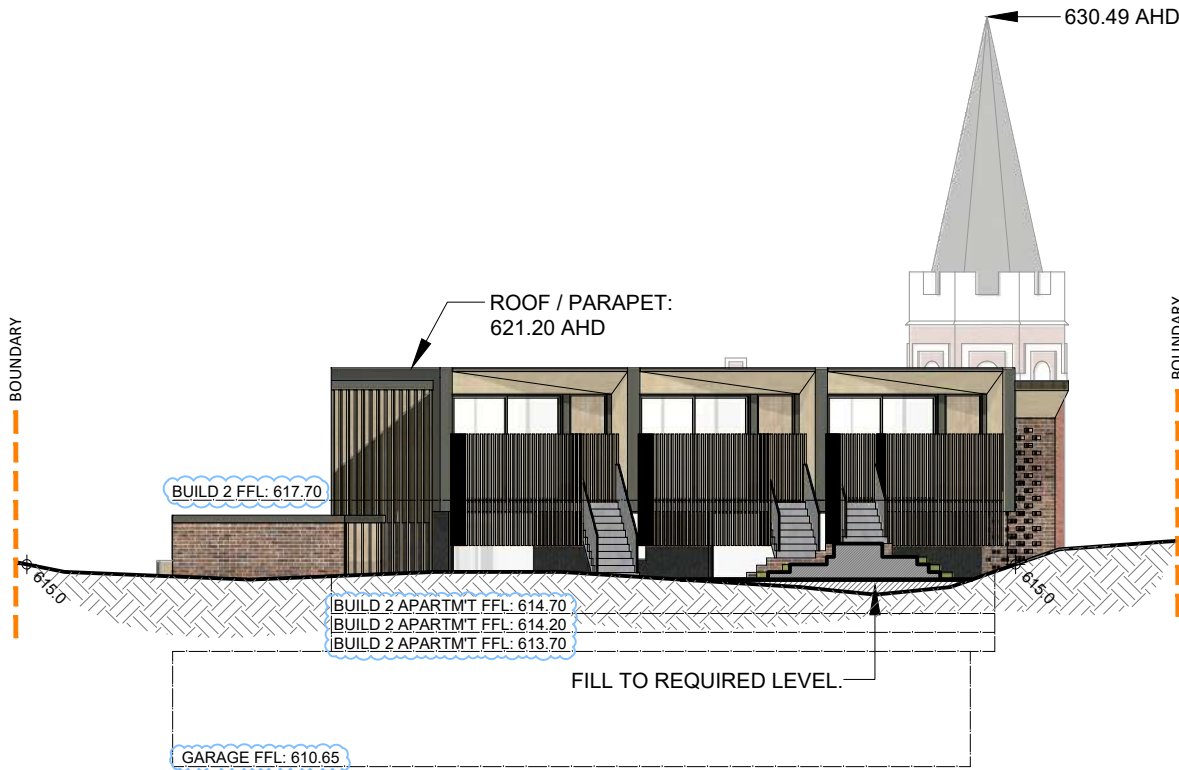
FRONT / EAST ELEVATION



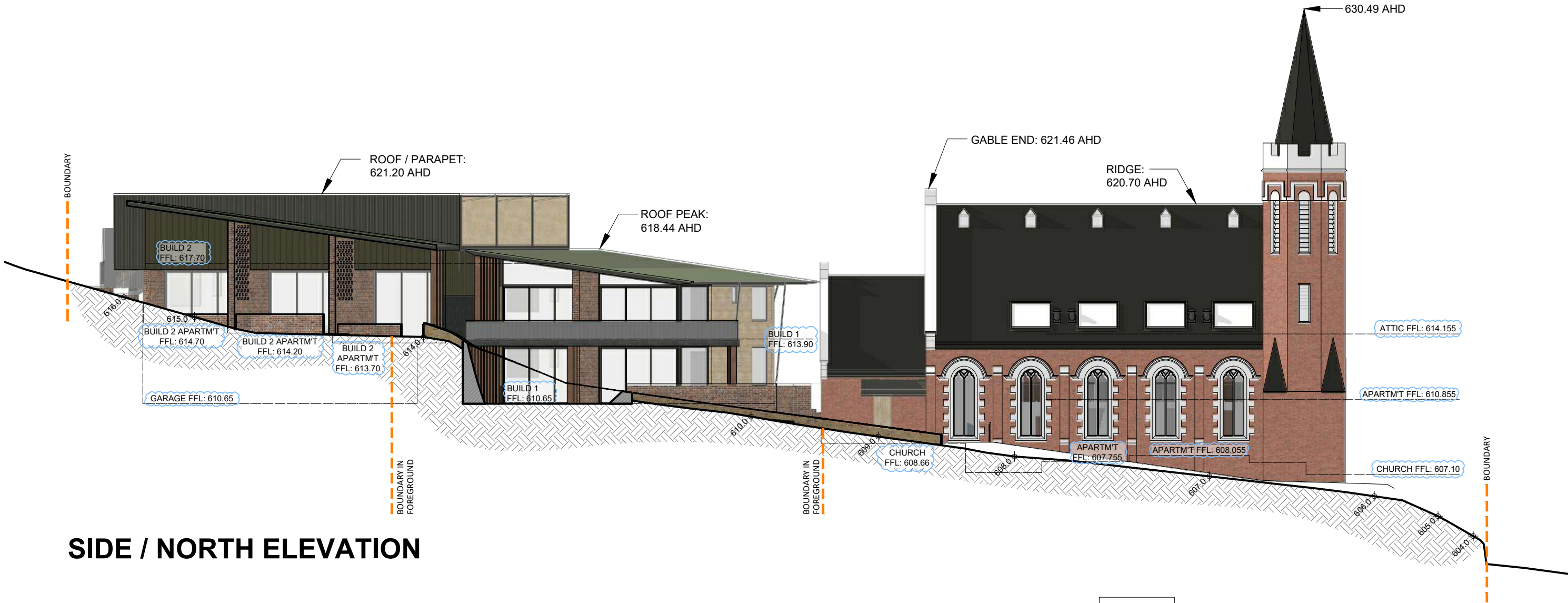
SIDE / SOUTH ELEVATION



REAR / WEST ELEVATION



SIDE / NORTH ELEVATION



COLOUR PALETTE

(REFER TO ELEVATION PLANS FOR DETAILS)



Alterations & additions to building & new buildings forming Group Accommodation.

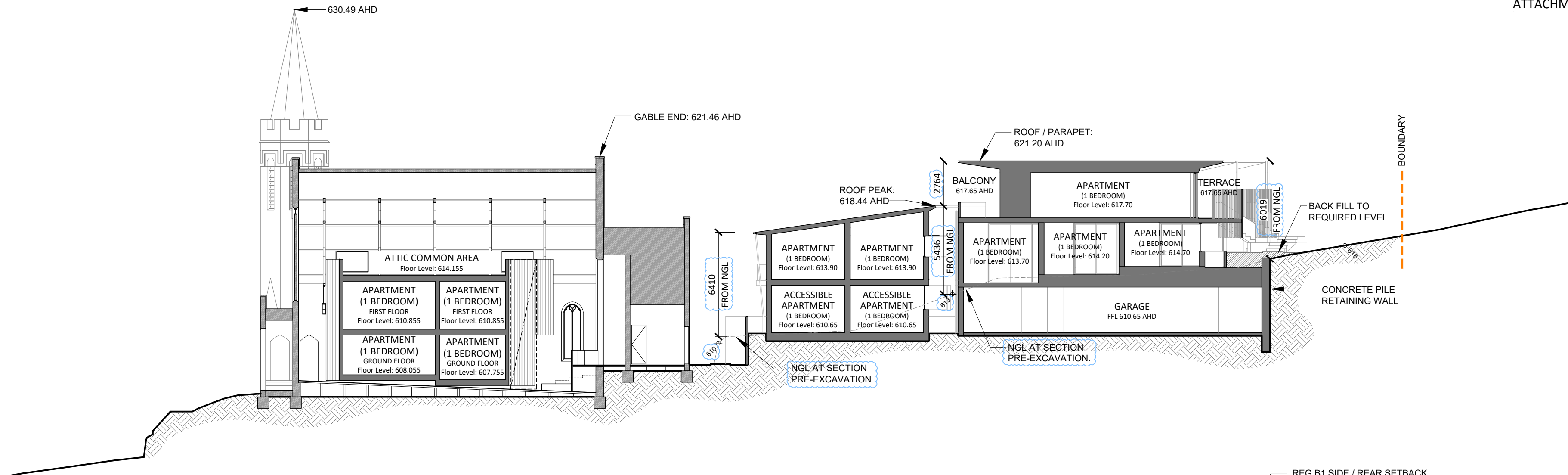
19A Camp St, Daylesford, VIC

A09 Proposed Site Elevations

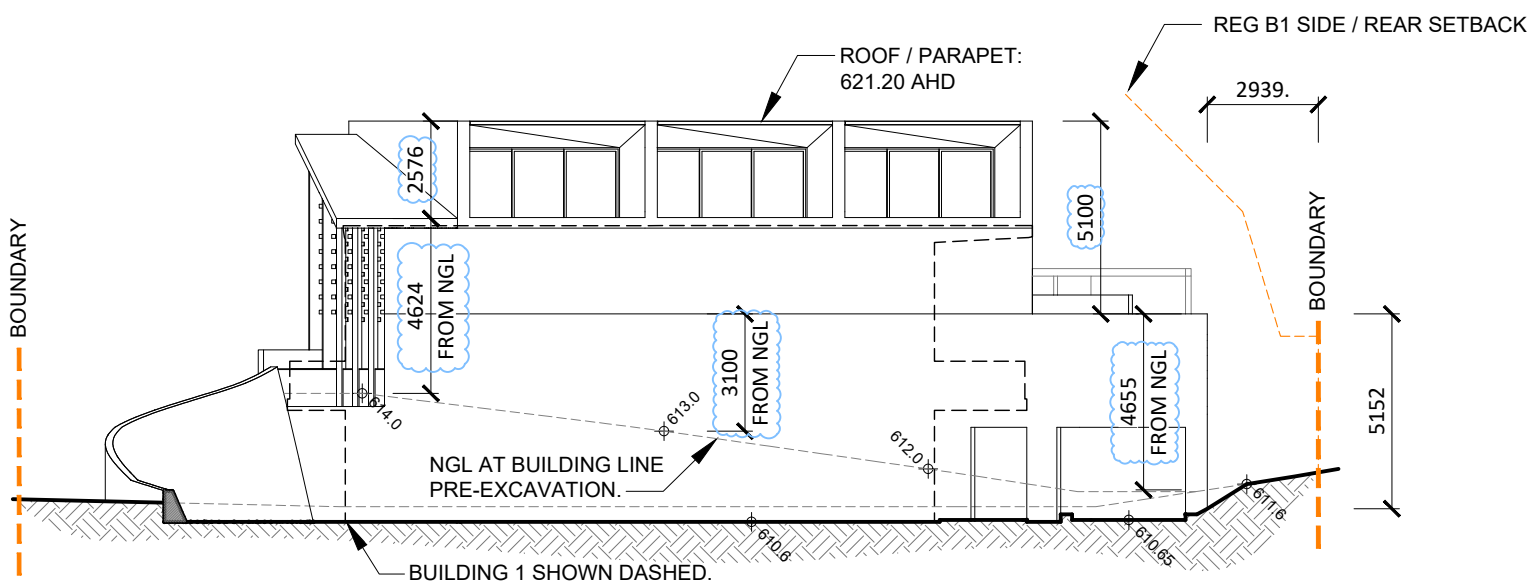
SCALE: 1:200 (SHEET SIZE A2) 16.11.23 REV B

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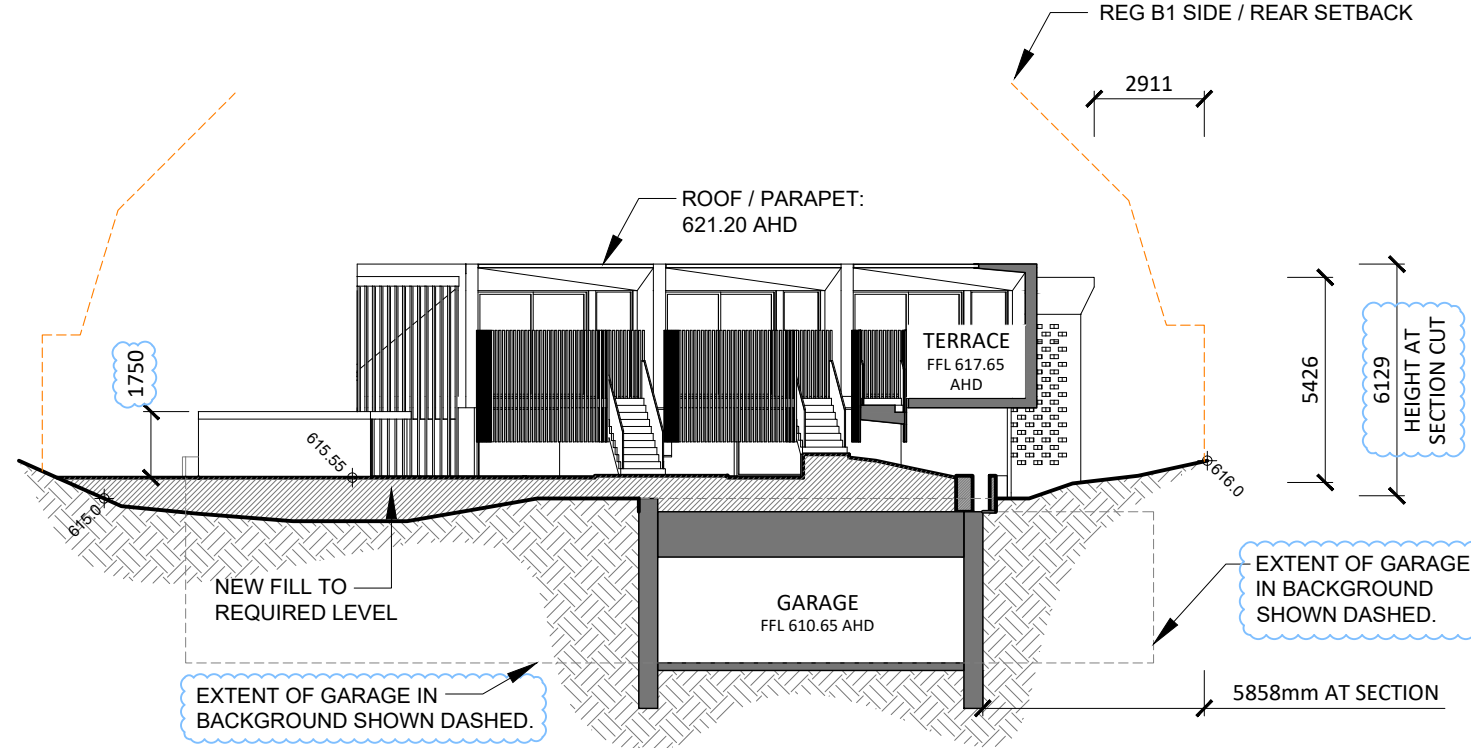
TOWN PLANNING
ONLY
NOT FOR CONSTRUCTION



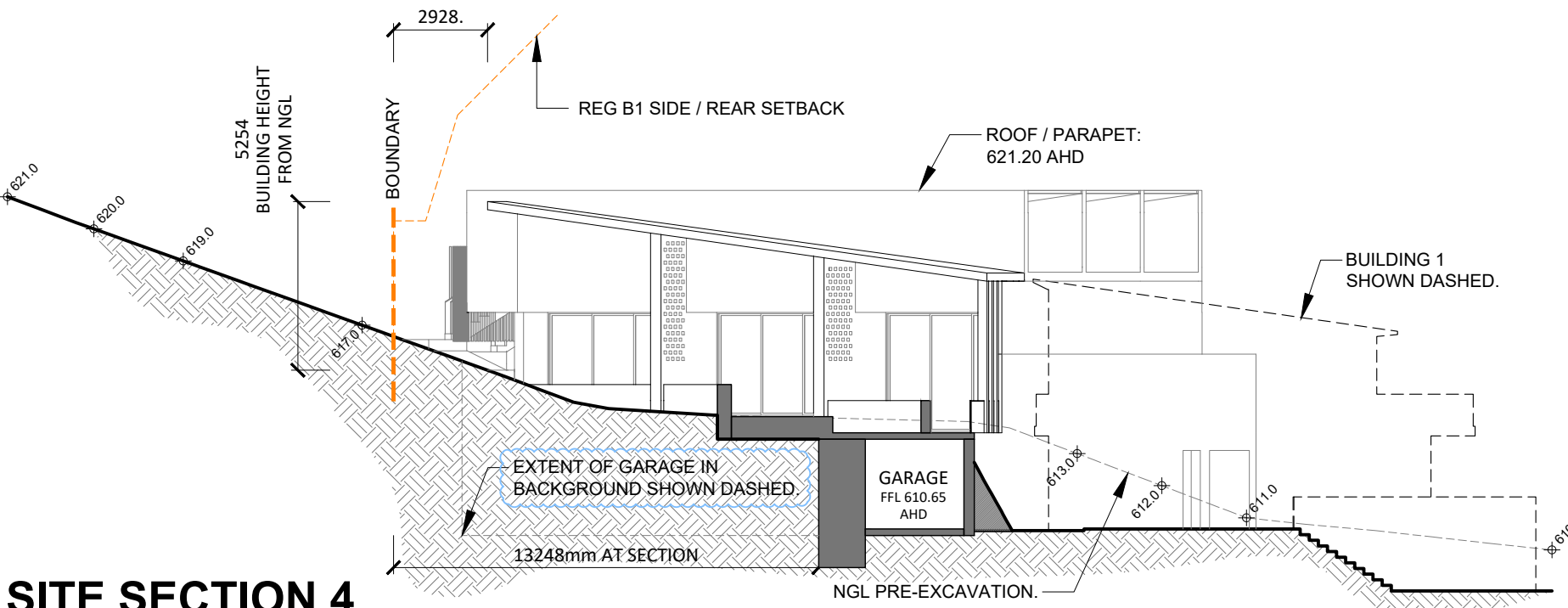
SITE SECTION 1



SITE SECTION 2
(BUILDING 1 NOT SHOWN FOR CLARITY)



SITE SECTION 3



SITE SECTION 4
(BUILDING 1 NOT SHOWN FOR CLARITY)

**TOWN PLANNING
ONLY**
NOT FOR CONSTRUCTION

Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

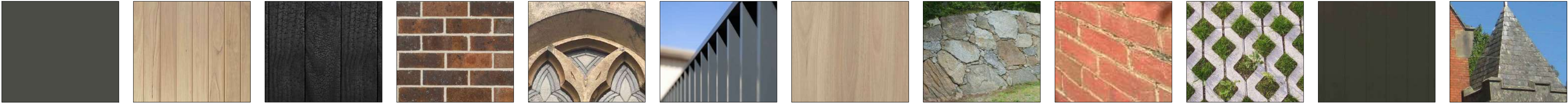
A10 Proposed Site Sections

SCALE: **1:200** (SHEET SIZE A2) 16.11.23 REV B

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COLOUR PALETTE

(REFER TO ELEVATION PLANS FOR DETAILS)



CHURCH BUILDING
LOOKING SOUTH EAST (PERSPECTIVE FROM WEST SIDE OF CAMP STREET)



CHURCH BUILDING
LOOKING NORTH EAST (PERSPECTIVE FROM WEST SIDE OF CAMP STREET)



AERIAL
LOOKING NORTH EAST



BUILDING 1
LOOKING EAST



BUILDING 1
LOOKING NORTH EAST



AERIAL
LOOKING SOUTH EAST



BUILDING 2
LOOKING SOUTH EAST



BUILDING 2
LOOKING NORTH WEST



TOWN PLANNING
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Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

A11 Proposed Site Perspectives

SCALE: **N/A** (SHEET SIZE A2) 16.11.23 REV B

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email: robin@treearc.com.au arbv reg no. 16800

EXISTING STREETSCAPE MONTAGE
EAST SIDE OF CAMP STREET

ATTACHMENT 10.3.8



PROPOSED PERSPECTIVE / PHOTO OVERLAY
EAST SIDE OF CAMP STREET



PROPOSED PERSPECTIVE / PHOTO OVERLAY
EAST SIDE OF CAMP STREET - NEW BUILDINGS AT REAR



TOWN PLANNING
ONLY
NOT FOR CONSTRUCTION

**Alterations & additions to building & new
buildings forming Group Accommodation.**

19A Camp St, Daylesford, VIC

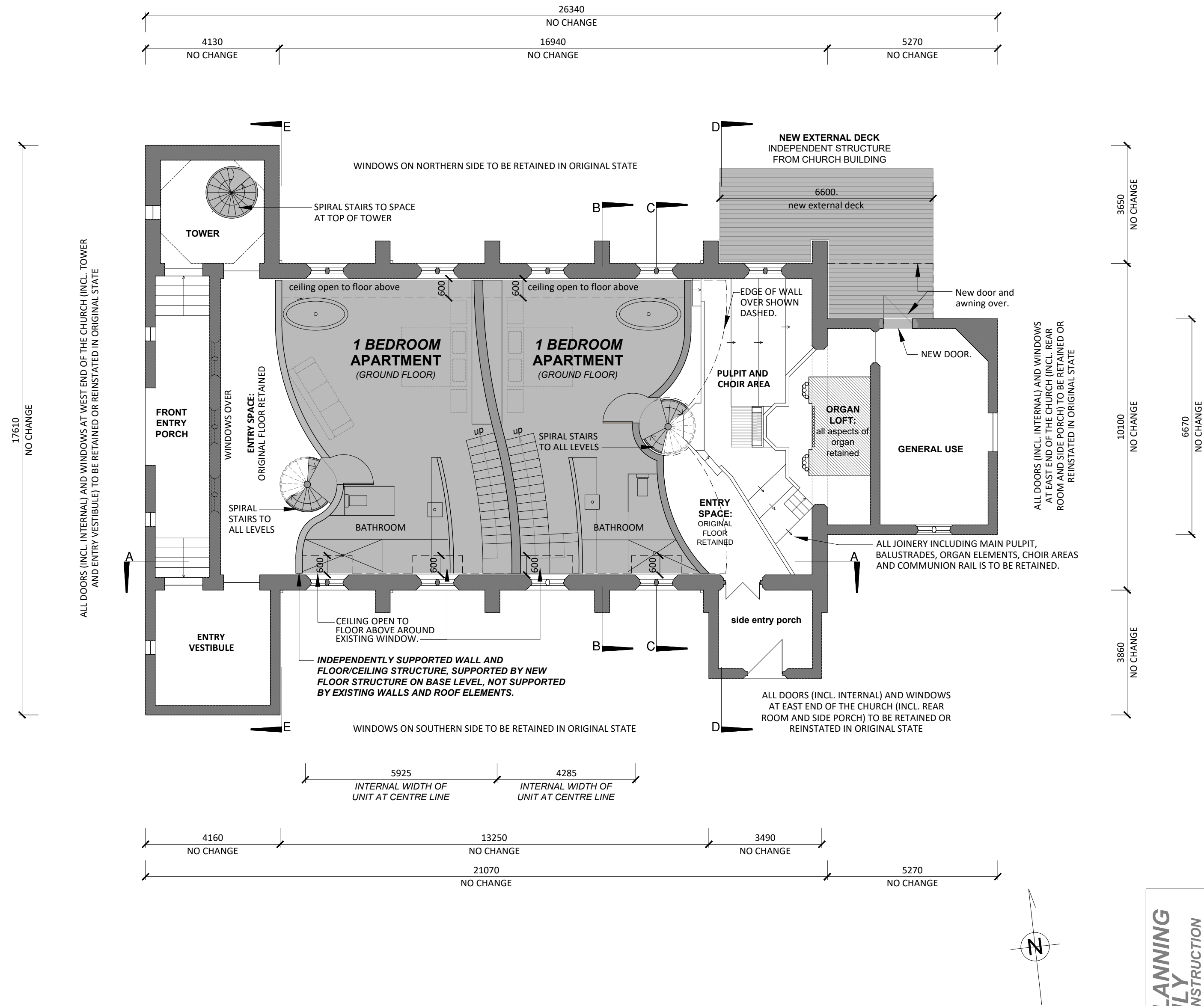
A12 Photo Comparison

SCALE: **N/A** (SHEET SIZE A2) 16.11.23 REV B

ROBIN LARSEN DESIGN pty ltd
ph 0439 383 900 po box 515, daylesford, vic 3460
email: robin@treearc.com.au arbv reg no. 16800

CONSERVATION OF THE EXISTING CHURCH BUILDING.

Given the dilapidated condition of the church, appropriate repairs will be undertaken to make the building habitable. Such works will reflect the existing character and fabric of the church.



Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

A13 Prop. Church Floor Plan (GF)

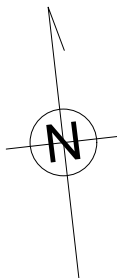
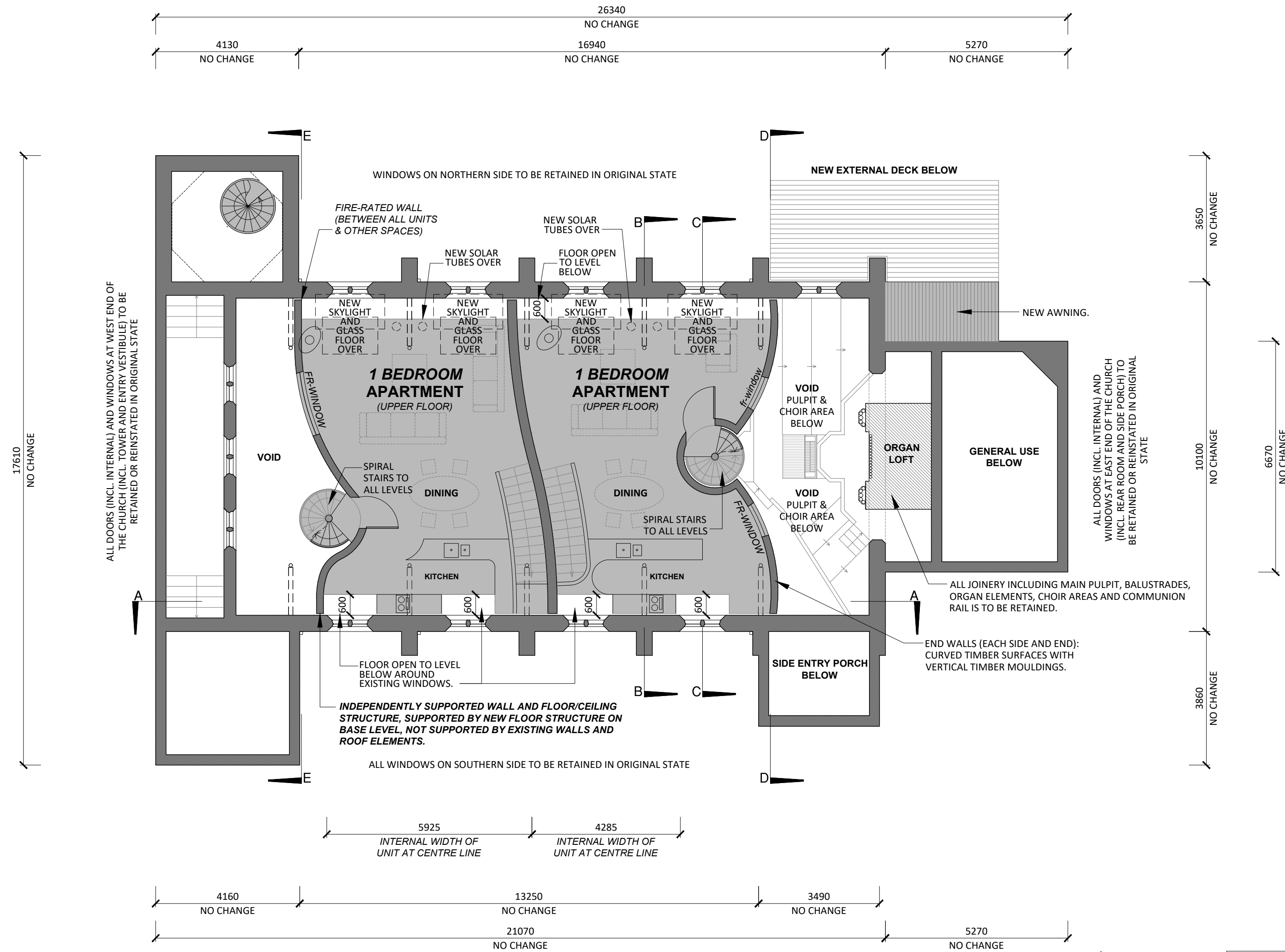
SCALE: 1:100 (SHEET SIZE A2) 16.11.23 REV B

ROBIN LARSEN DESIGN pty ltd
ph 0439 383 900 po box 515, daylesford, vic 3460
email: robin@treearc.com.au arbv reg no. 16800

TOWN PLANNING ONLY
NOT FOR CONSTRUCTION

CONSERVATION OF THE EXISTING CHURCH BUILDING.

Given the dilapidated condition of the church, appropriate repairs will be undertaken to make the building habitable. Such works will reflect the existing character and fabric of the church.



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Alterations & additions to building & new buildings forming Group Accommodation.

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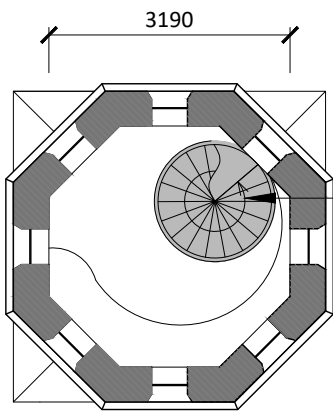
A14 Prop. Church Floor Plan (FF)

SCALE: 1:100 (SHEET SIZE A2) 16.11.23 REV B

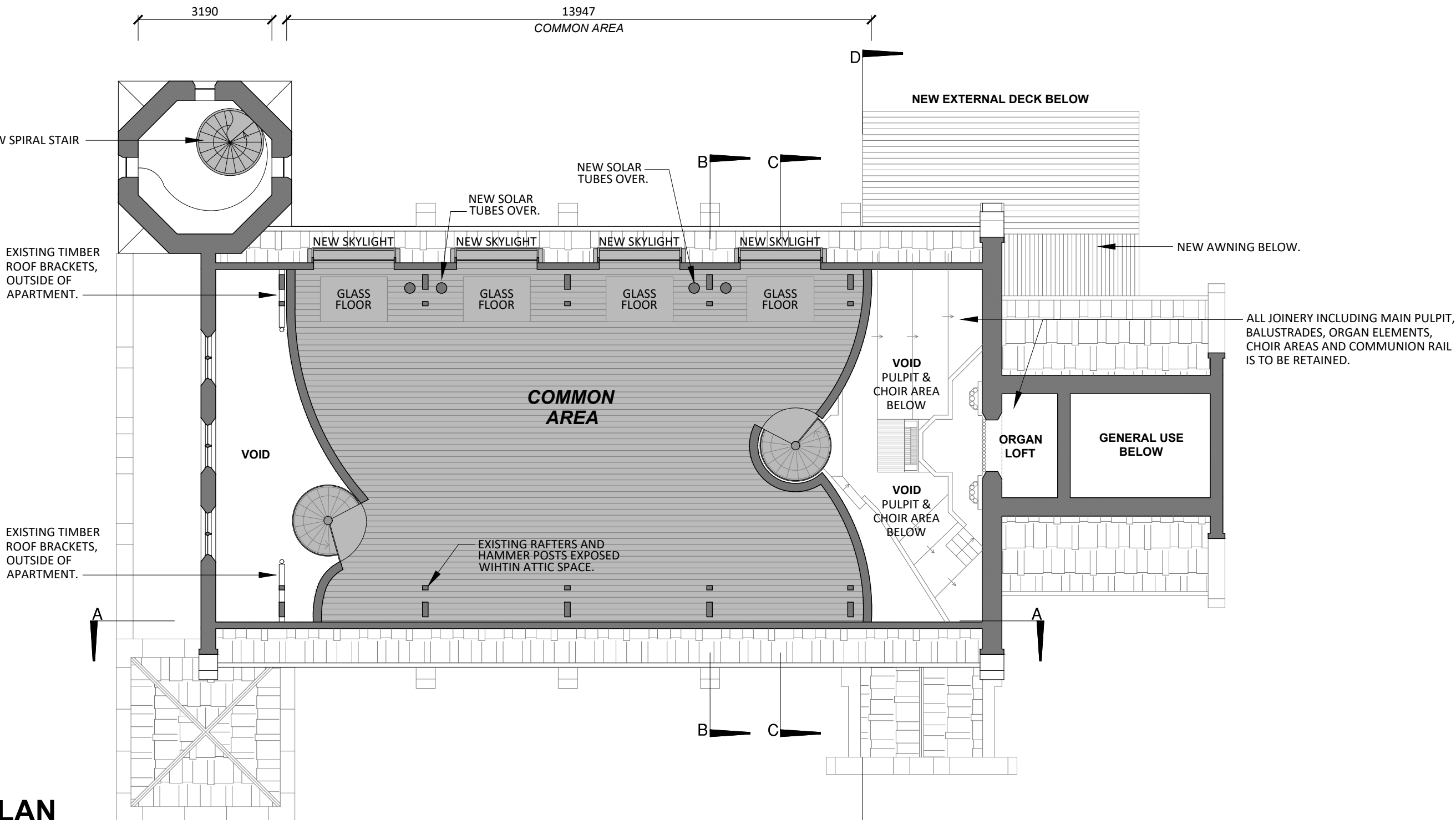
ROBIN LARSEN DESIGN pty ltd
ph 0439 383 900 po box 515, daylesford, vic 3460
email: robin@treearc.com.au arbv reg no. 16800

CONSERVATION OF THE EXISTING CHURCH BUILDING.

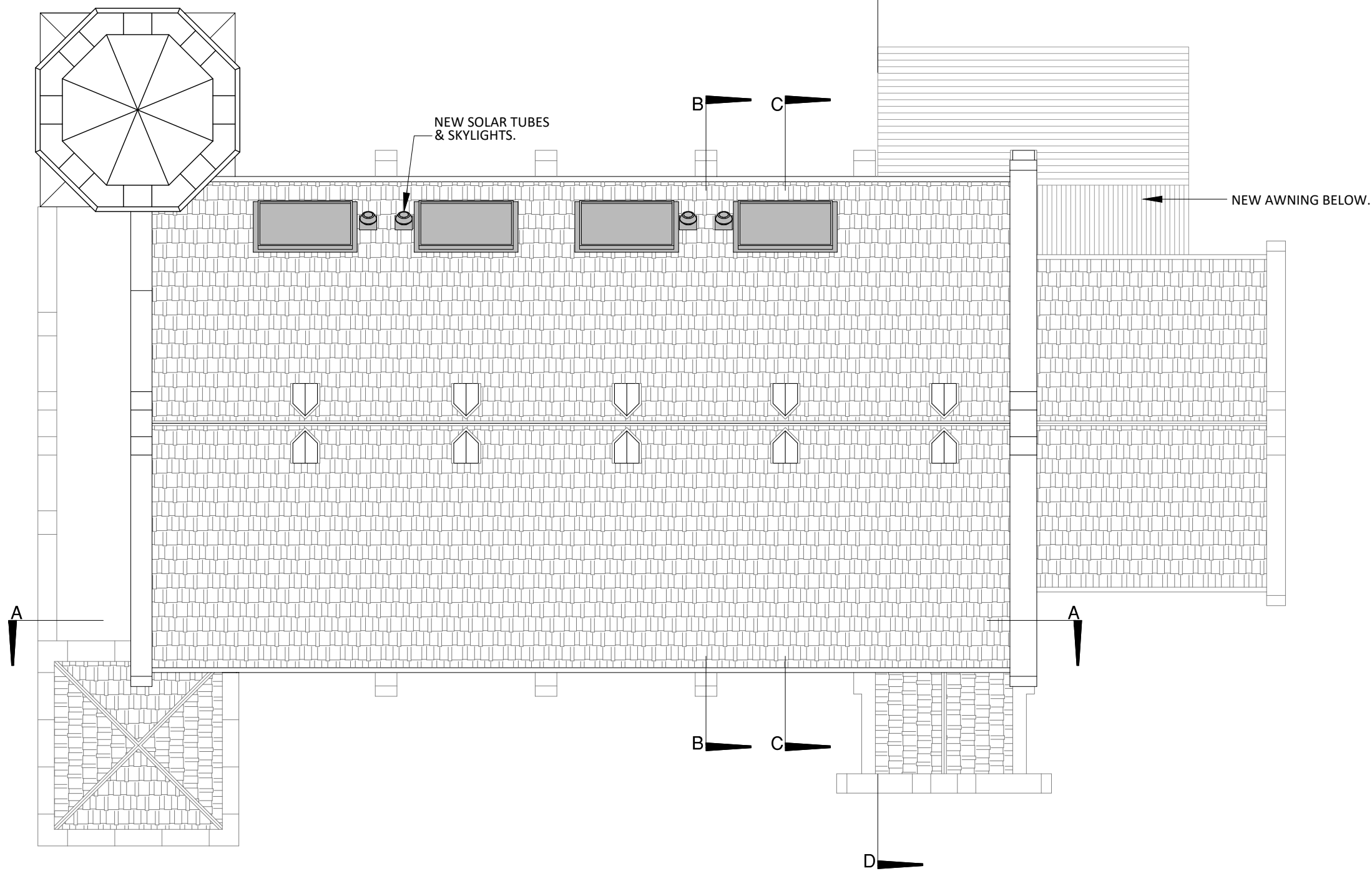
Given the dilapidated condition of the church, appropriate repairs will be undertaken to make the building habitable. Such works will reflect the existing character and fabric of the church.



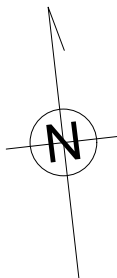
TOP LEVEL OF TOWER



ATTIC FLOOR PLAN



ROOF PLAN



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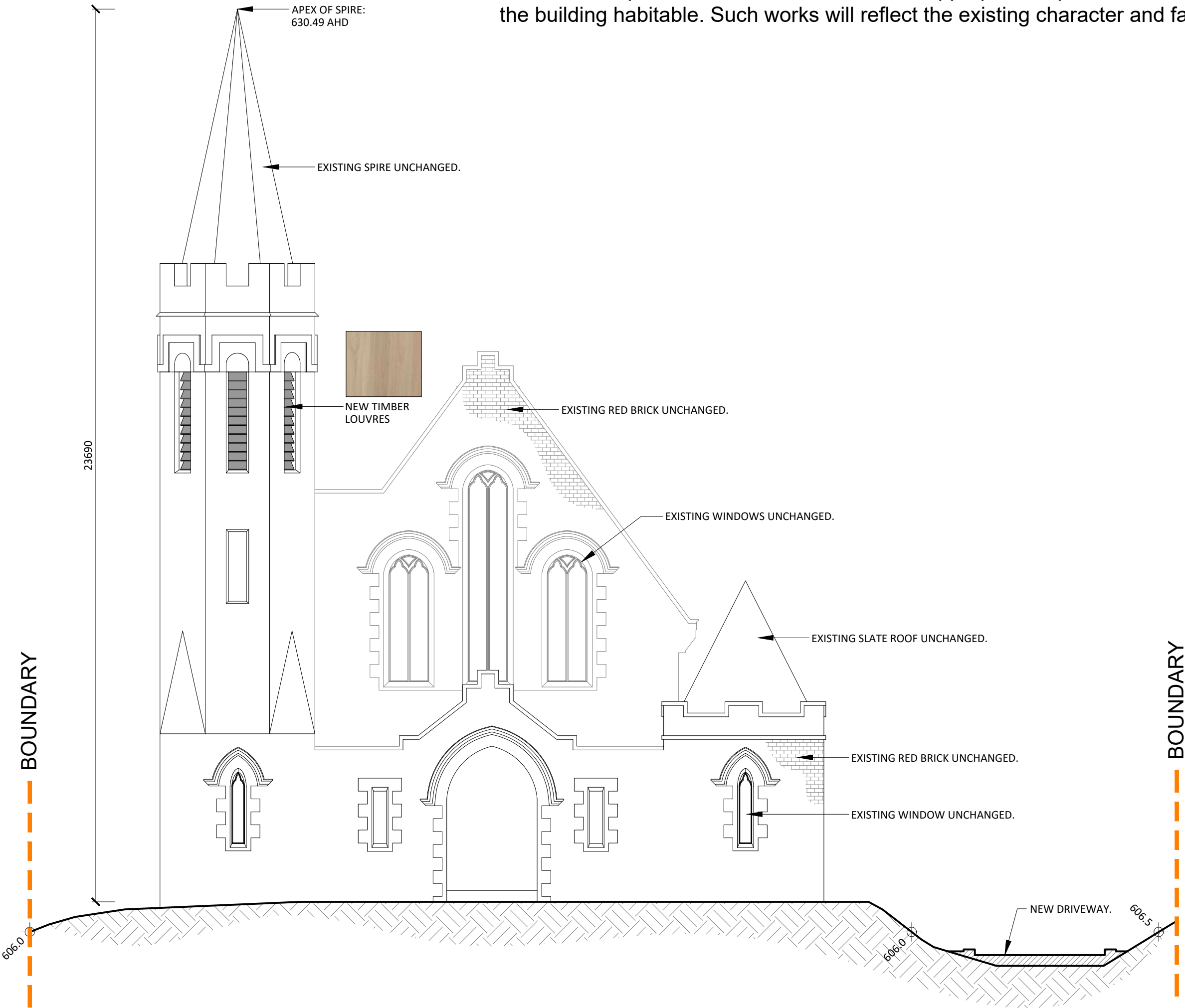
Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC
**Prop. Church Floor (Attic)
A15 and Roof Plans**
SCALE: **1:200** (SHEET SIZE A2) 16.11.23 REV B

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CONSERVATION OF THE EXISTING CHURCH BUILDING.

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EXISTING MATERIALS SCHEDULE



EXISTING CHURCH SPIRE AND STONE WORK UNCHANGED.



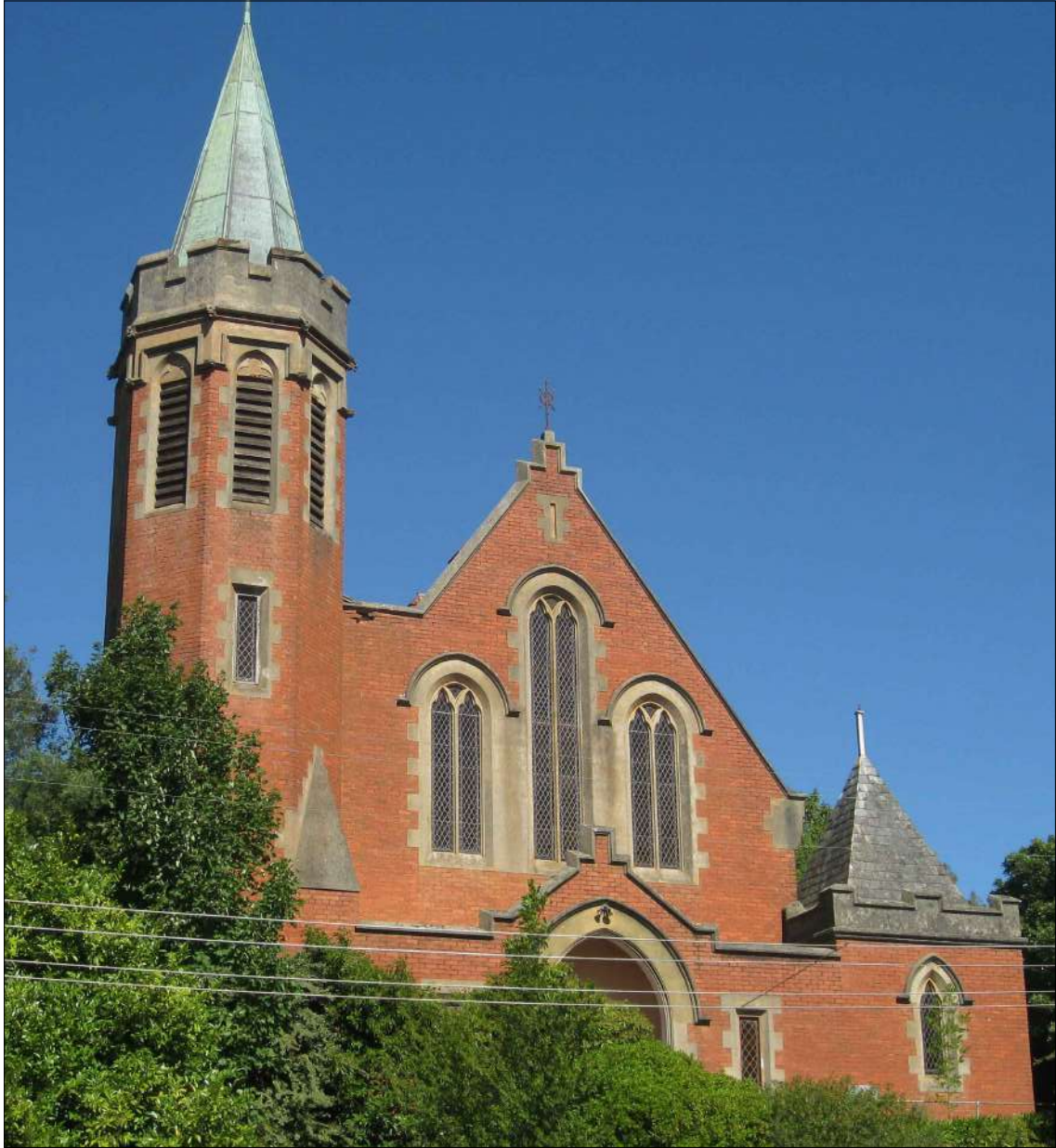
EXISTING CHURCH RED BRICK UNCHANGED.



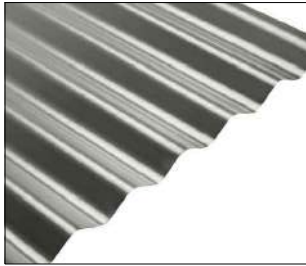
EXISTING CHURCH SLATE ROOF AND STONE WORK UNCHANGED.



EXISTING CHURCH WINDOWS AND STONE WORK UNCHANGED.



MATERIAL SCHEDULE (CHURCH NEW WORKS)



ROOFING
PROFILED COLORBOND WALL SHEETING: WOODLAND GREY



GUTTERS, DOWNPIPES, FASCIAS & EAVES
COLORBOND: WOODLAND GREY



DOOR & SKYLIGHT FRAMES
POWDER COATED ALUMINIUM: WOODLAND GREY



VERTICAL TIMBER
RECYCLED TIMBER: NATURAL FINISH



BALUSTRADES & STEEL SUPPORTS
POWDER COATED VERTICAL STEEL: WOODLAND GREY



TIMBER LOUVRES
TIMBER TO MATCH DOOR: NATURAL FINISH

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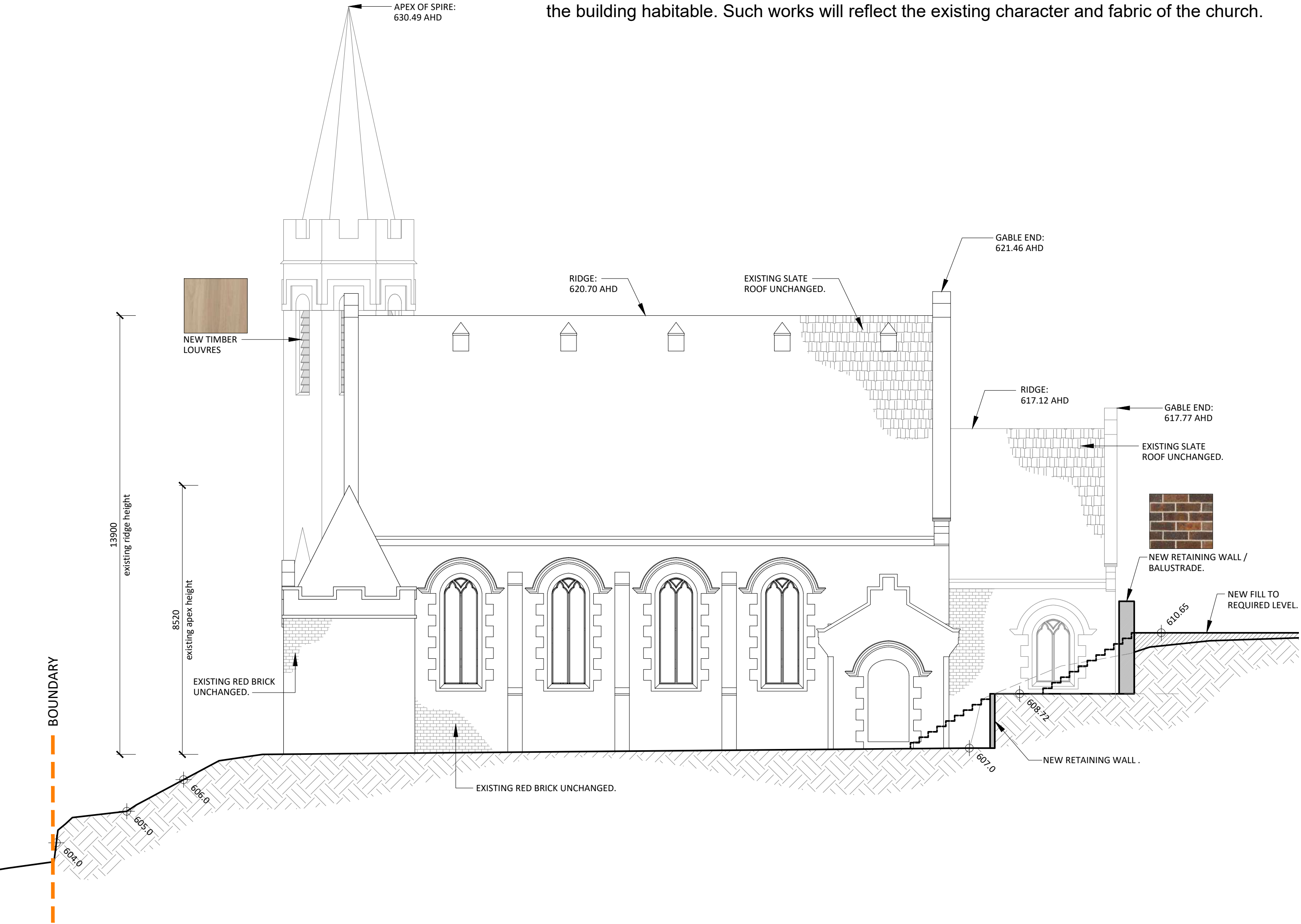
A16 Prop. Church Elevation East

SCALE: 1:100 (SHEET SIZE A2) 16.11.23 REV B

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email: robin@treearc.com.au arbv reg no. 16800

CONSERVATION OF THE EXISTING CHURCH BUILDING.

Given the dilapidated condition of the church, appropriate repairs will be undertaken to make the building habitable. Such works will reflect the existing character and fabric of the church.



EXISTING MATERIALS SCHEDULE



EXISTING CHURCH SPIRE AND STONE WORK UNCHANGED.



EXISTING CHURCH RED BRICK UNCHANGED.



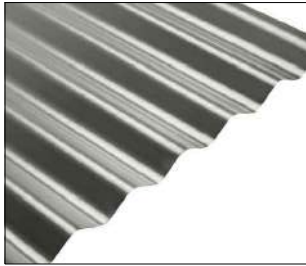
EXISTING CHURCH SLATE ROOF AND STONE WORK UNCHANGED.



EXISTING CHURCH WINDOWS AND STONE WORK UNCHANGED.



MATERIAL SCHEDULE (CHURCH NEW WORKS)



ROOFING
PROFILED COLORBOND WALL SHEETING: WOODLAND GREY



GUTTERS, DOWNPIPES, FASCIAS & EAVES
COLORBOND: WOODLAND GREY



DOOR & SKYLIGHT FRAMES
POWDER COATED ALUMINIUM: WOODLAND GREY



VERTICAL TIMBER
RECYCLED TIMBER: NATURAL FINISH



BALUSTRADES & STEEL SUPPORTS
POWDER COATED VERTICAL STEEL: WOODLAND GREY



TIMBER LOUVRES
TIMBER TO MATCH DOOR: NATURAL FINISH

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Alterations & additions to building & new buildings forming Group Accommodation.

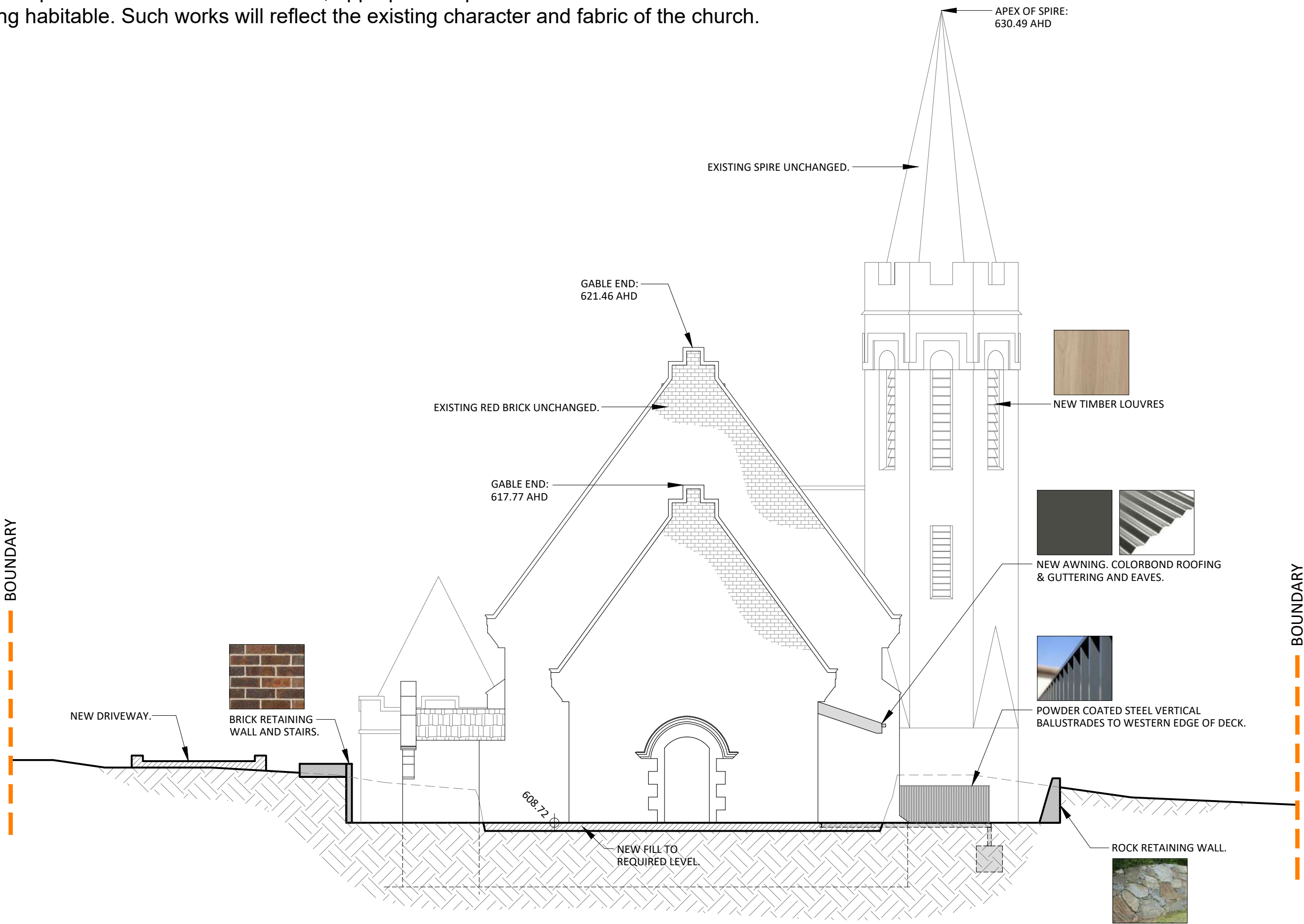
19A Camp St, Daylesford, VIC

A17 Prop. Church Elevation South

SCALE: 1:100 (SHEET SIZE A2) 16.11.23 REV B

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CONSERVATION OF THE EXISTING CHURCH BUILDING.
Given the dilapidated condition of the church, appropriate repairs will be undertaken to make the building habitable. Such works will reflect the existing character and fabric of the church.



EXISTING MATERIALS SCHEDULE ATTACHMENT 10.3.8



MATERIAL SCHEDULE (CHURCH NEW WORKS)

					
ROOFING PROFILED COLORBOND WALL SHEETING: WOODLAND GREY	GUTTERS, DOWNPIPES, FASCIAS & EAVES COLORBOND: WOODLAND GREY	DOOR & SKYLIGHT FRAMES POWDER COATED ALUMINIUM: WOODLAND GREY	VERTICAL TIMBER RECYCLED TIMBER: NATURAL FINISH	BALUSTRADES & STEEL SUPPORTS POWDER COATED VERTICAL STEEL: WOODLAND GREY	TIMBER LOUVRES TIMBER TO MATCH DOOR: NATURAL FINISH

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Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

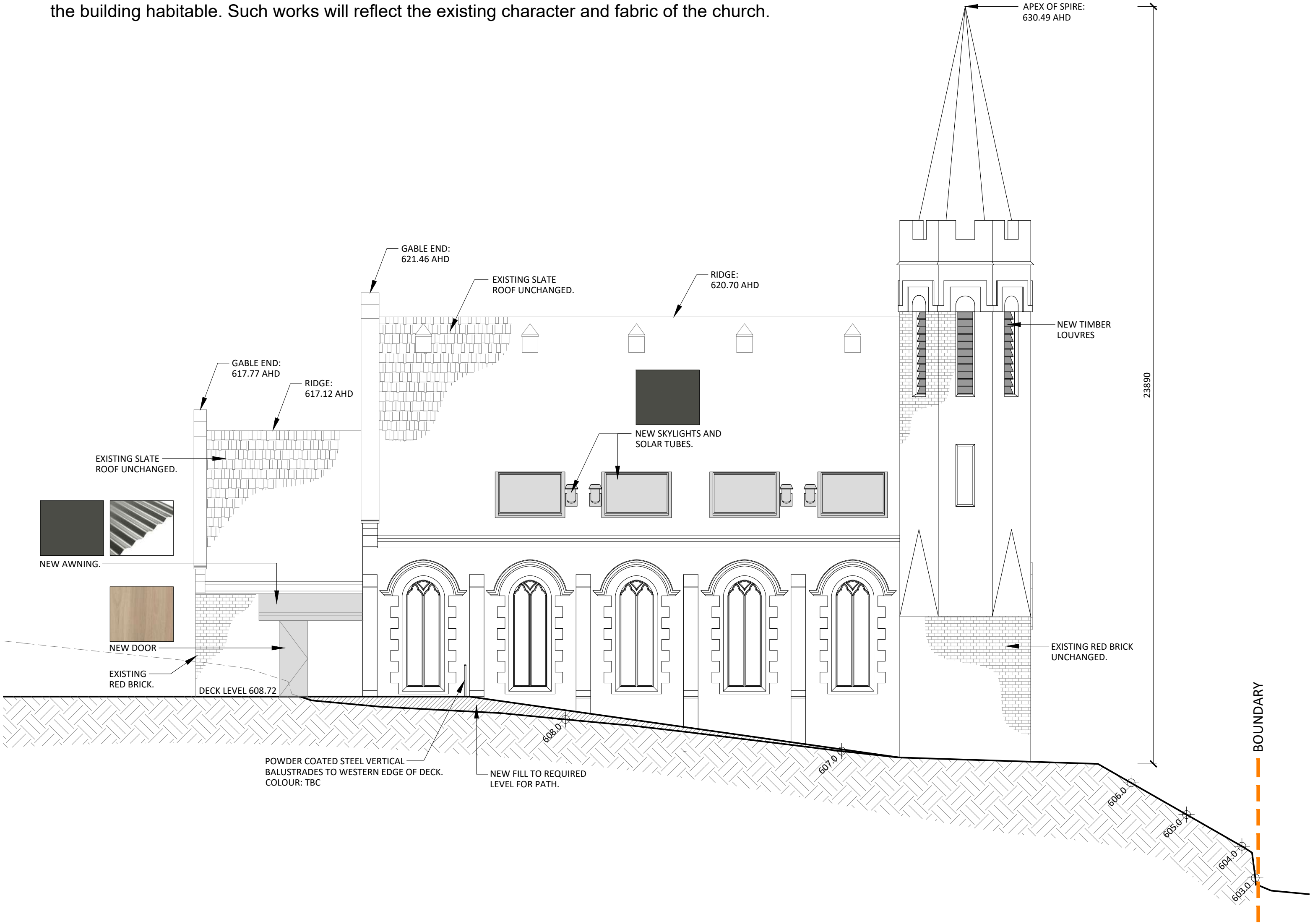
A18 Prop. Church Elevation West

SCALE: 1:100 (SHEET SIZE A2) 16.11.23 REV B

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CONSERVATION OF THE EXISTING CHURCH BUILDING.

Given the dilapidated condition of the church, appropriate repairs will be undertaken to make the building habitable. Such works will reflect the existing character and fabric of the church.



EXISTING MATERIALS SCHEDULE

ATTACHMENT 10.3.8



EXISTING CHURCH SPIRE AND
STONE WORK UNCHANGED.



EXISTING CHURCH RED BRICK
UNCHANGED.



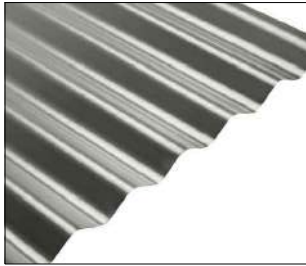
EXISTING CHURCH SLATE ROOF
AND STONE WORK UNCHANGED.



EXISTING CHURCH WINDOWS
AND STONE WORK UNCHANGED.



MATERIAL SCHEDULE (CHURCH NEW WORKS)



ROOFING
PROFILED COLORBOND WALL
SHEETING: WOODLAND GREY



**GUTTERS, DOWNPIPES,
FASCIAS & EAVES**
COLORBOND: WOODLAND GREY



**DOOR & SKYLIGHT
FRAMES**
POWDER COATED ALUMINIUM:
WOODLAND GREY



VERTICAL TIMBER
RECYCLED TIMBER:
NATURAL FINISH



**BALUSTRADES &
STEEL SUPPORTS**
POWDER COATED VERTICAL
STEEL: WOODLAND GREY



TIMBER LOUVRES
TIMBER TO MATCH DOOR:
NATURAL FINISH

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Alterations & additions to building & new
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19A Camp St, Daylesford, VIC

A19 Prop. Church Elevation North

SCALE: 1:100 (SHEET SIZE A2) 16.11.23 REV B

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CONSERVATION OF THE EXISTING CHURCH BUILDING.

Given the dilapidated condition of the church, appropriate repairs will be undertaken to make the building habitable. Such works will reflect the existing character and fabric of the church.

Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

A20 Prop. CHURCH Section AA

SCALE: 1:75 (SHEET SIZE A2) 16.11.23 REV B



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Ridge in foreground..

Existing timber rafters,
outside of apartment.

floor open to level below
around existing windows.

Existing timber roof
brackets, contained
within apartment.

Existing timber roof
brackets, contained
within apartment.

Existing timber roof bracket,
outside of apartment.

ALL existing joinery, balustrades and flooring
of the pulpit and choir area to be retained.

Given the dilapidated condition of the church, appropriate repairs will be undertaken to make the building habitable. Such works will reflect the existing character and fabric of the church.

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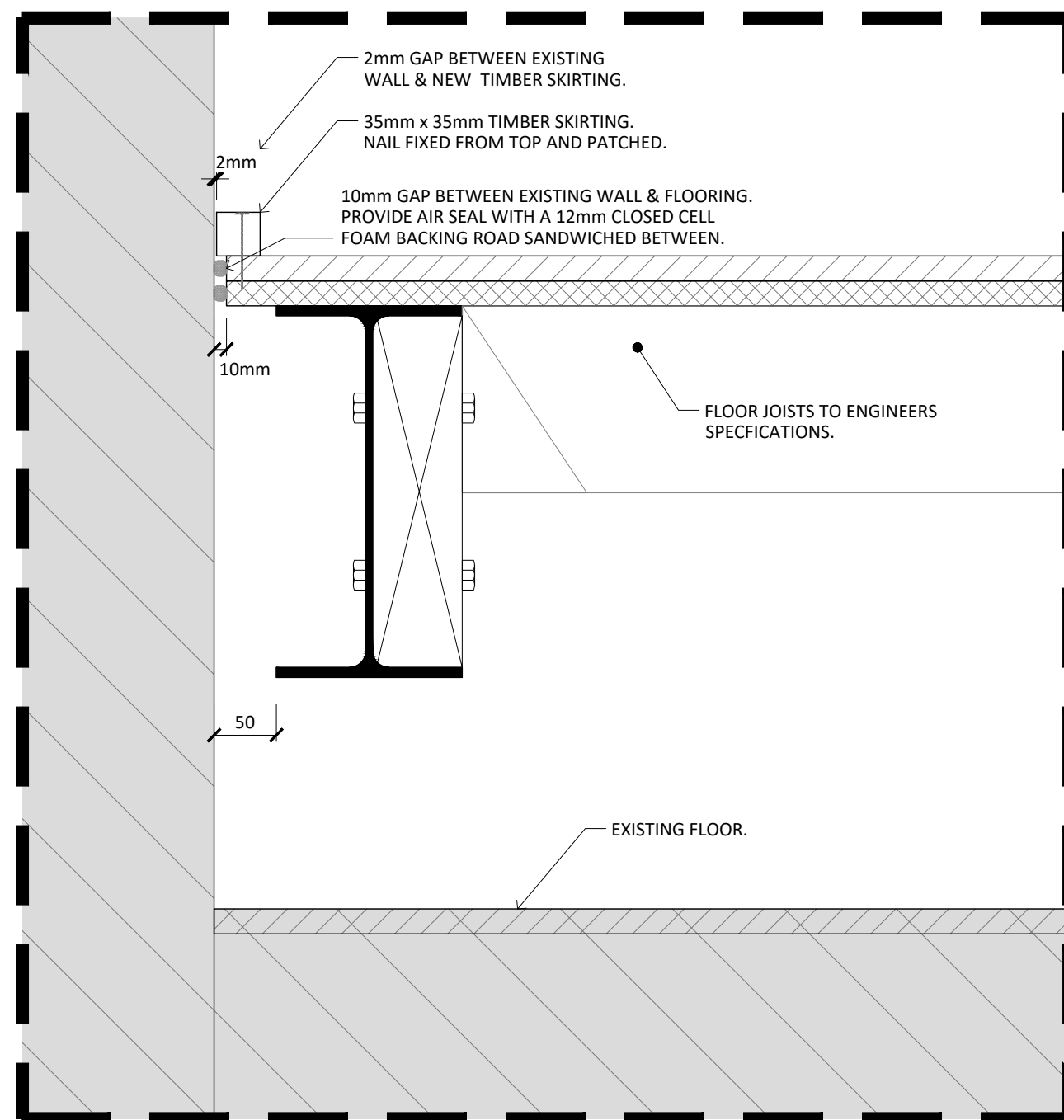
Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

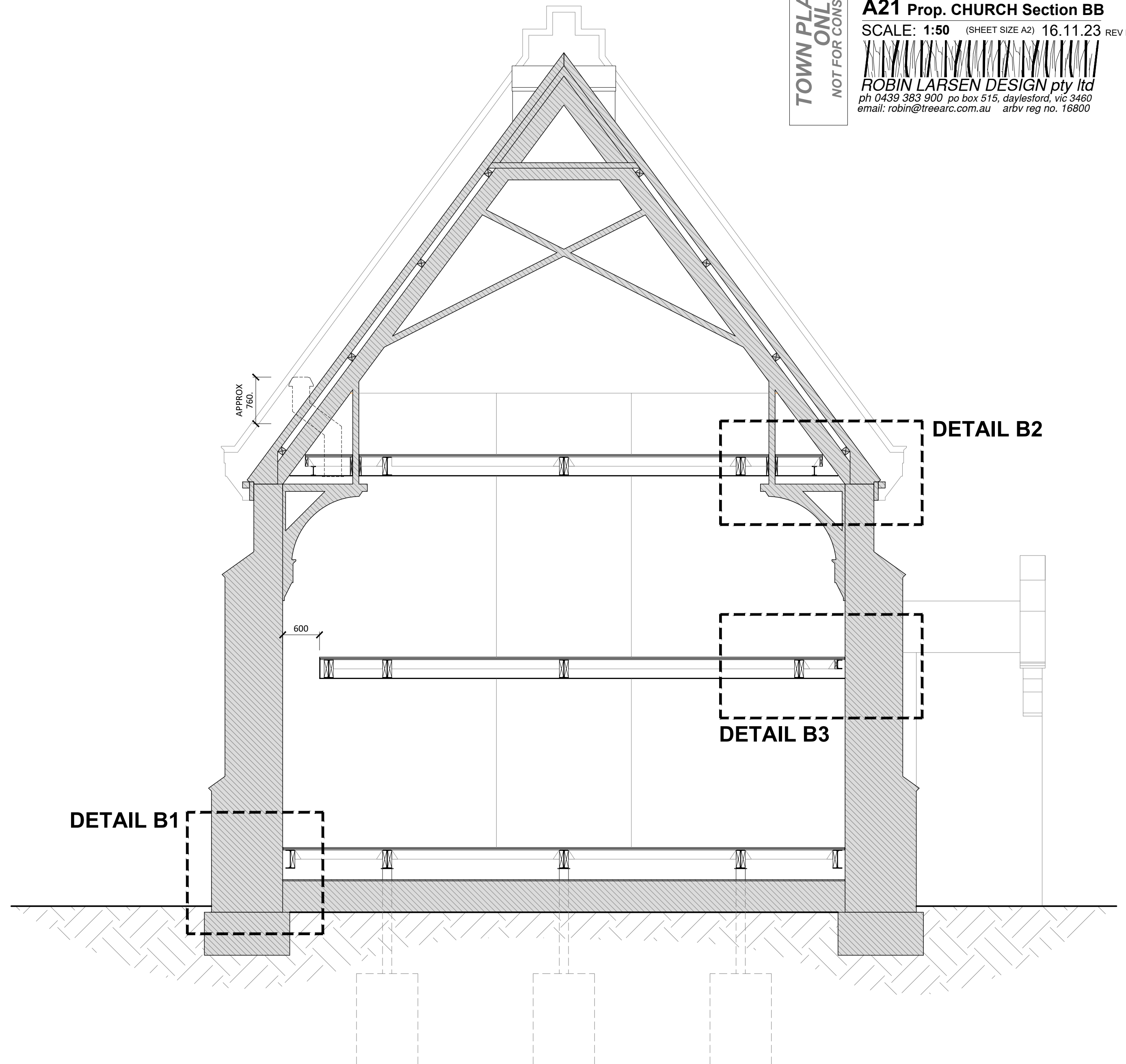
A21 Prop. CHURCH Section BB

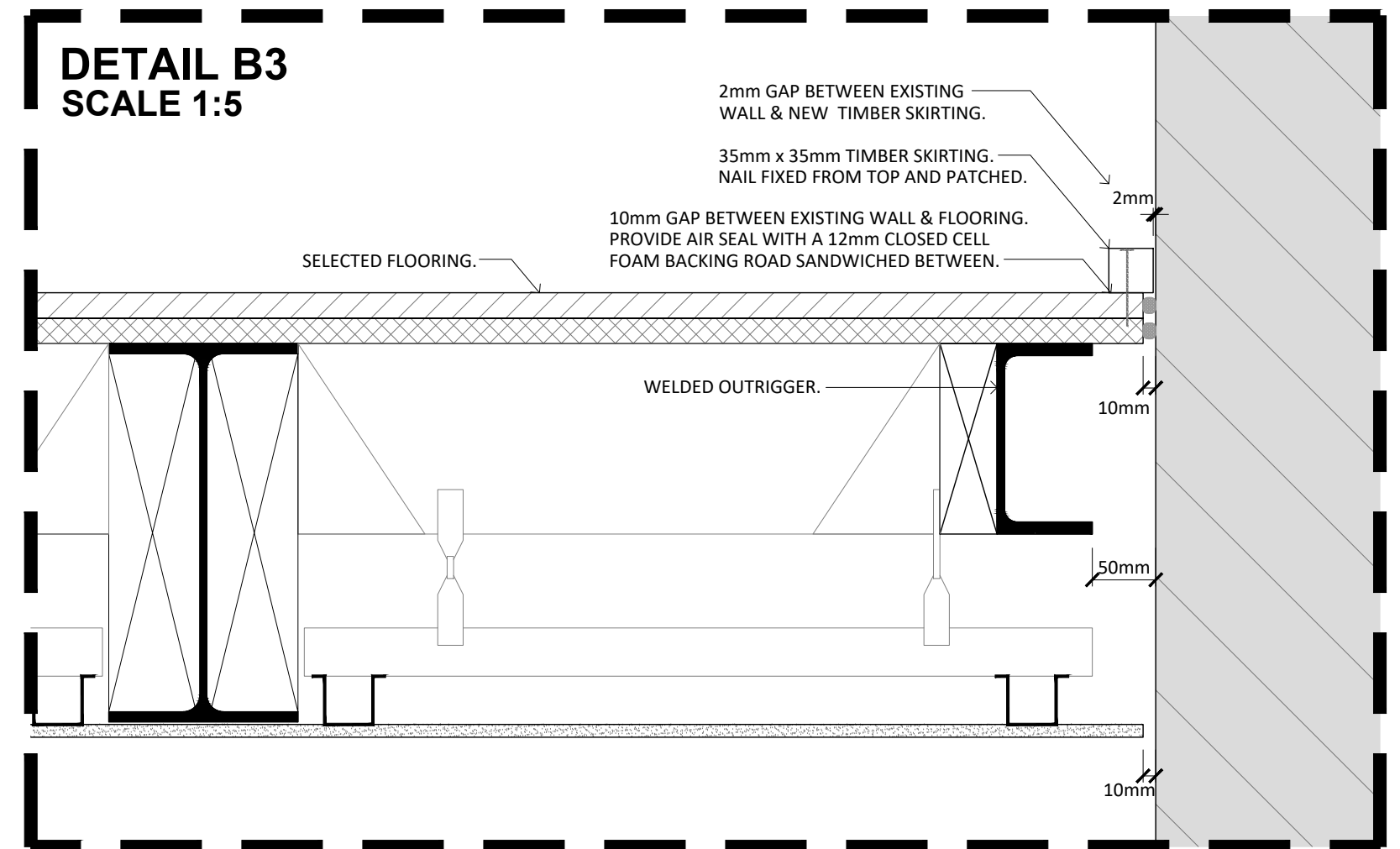
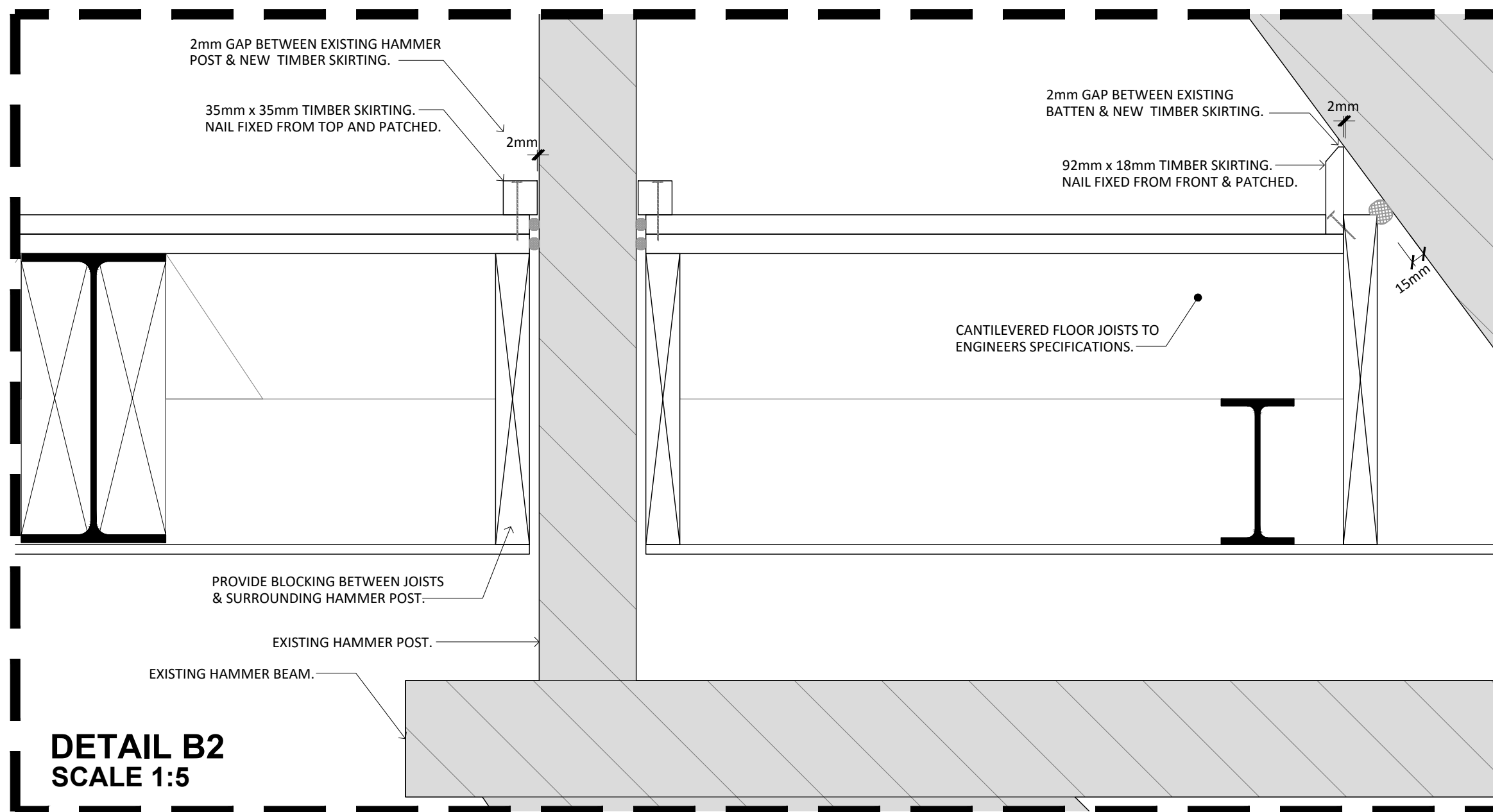
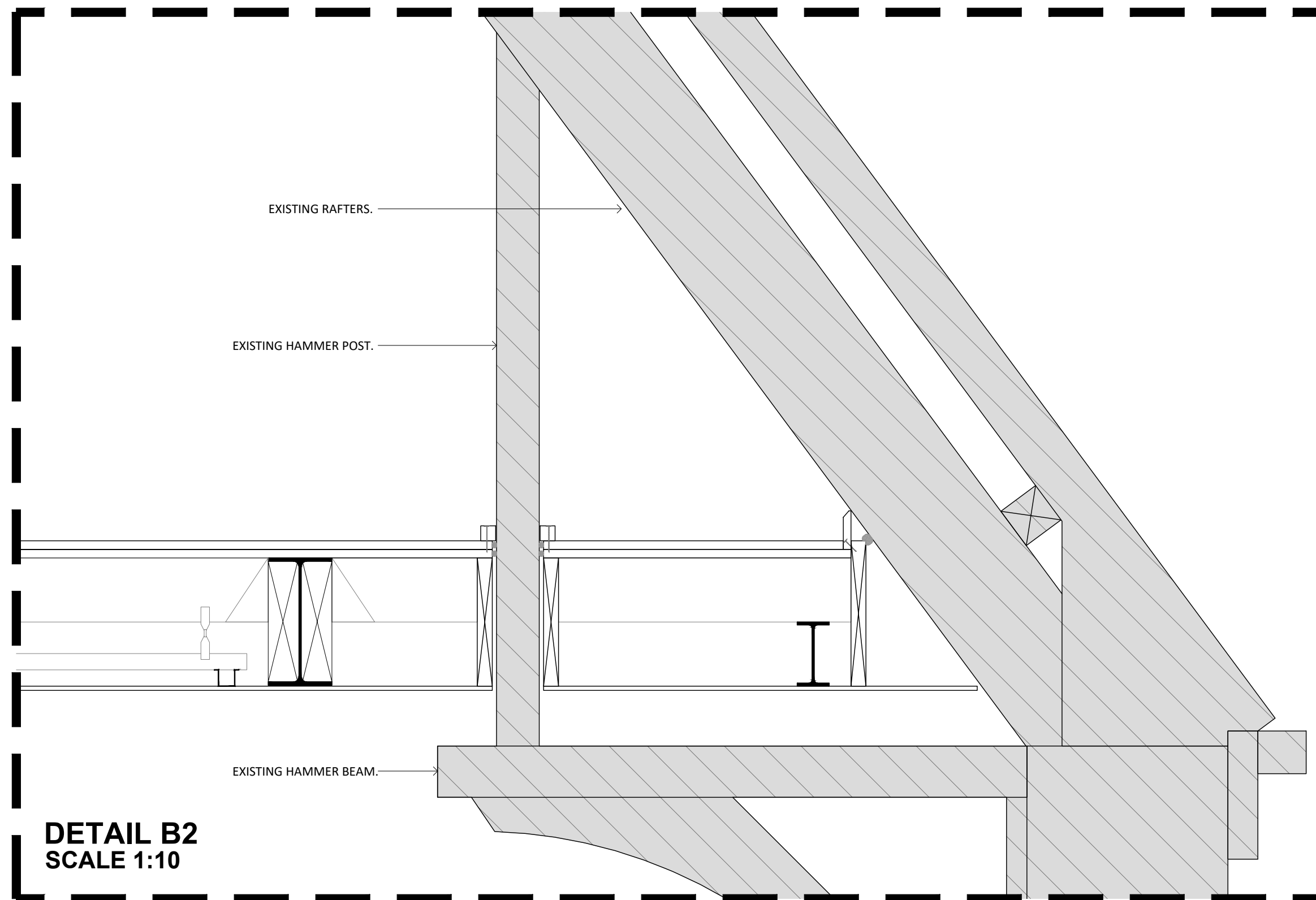
SCALE: 1:50 (SHEET SIZE A2) 16.11.23 REV B

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DETAIL B1
SCALE 1:5





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19A Camp St, Daylesford, VIC

A22 Prop. CHURCH Details 'B2' & 'B3'

SCALE: 1:10 (SHEET SIZE A2) 16.11.23 REV B

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CONSERVATION OF THE EXISTING CHURCH BUILDING.
Given the dilapidated condition of the church, appropriate repairs will be undertaken to make the building habitable. Such works will reflect the existing character and fabric of the church.

Alterations & additions to building & new buildings forming Group Accommodation.

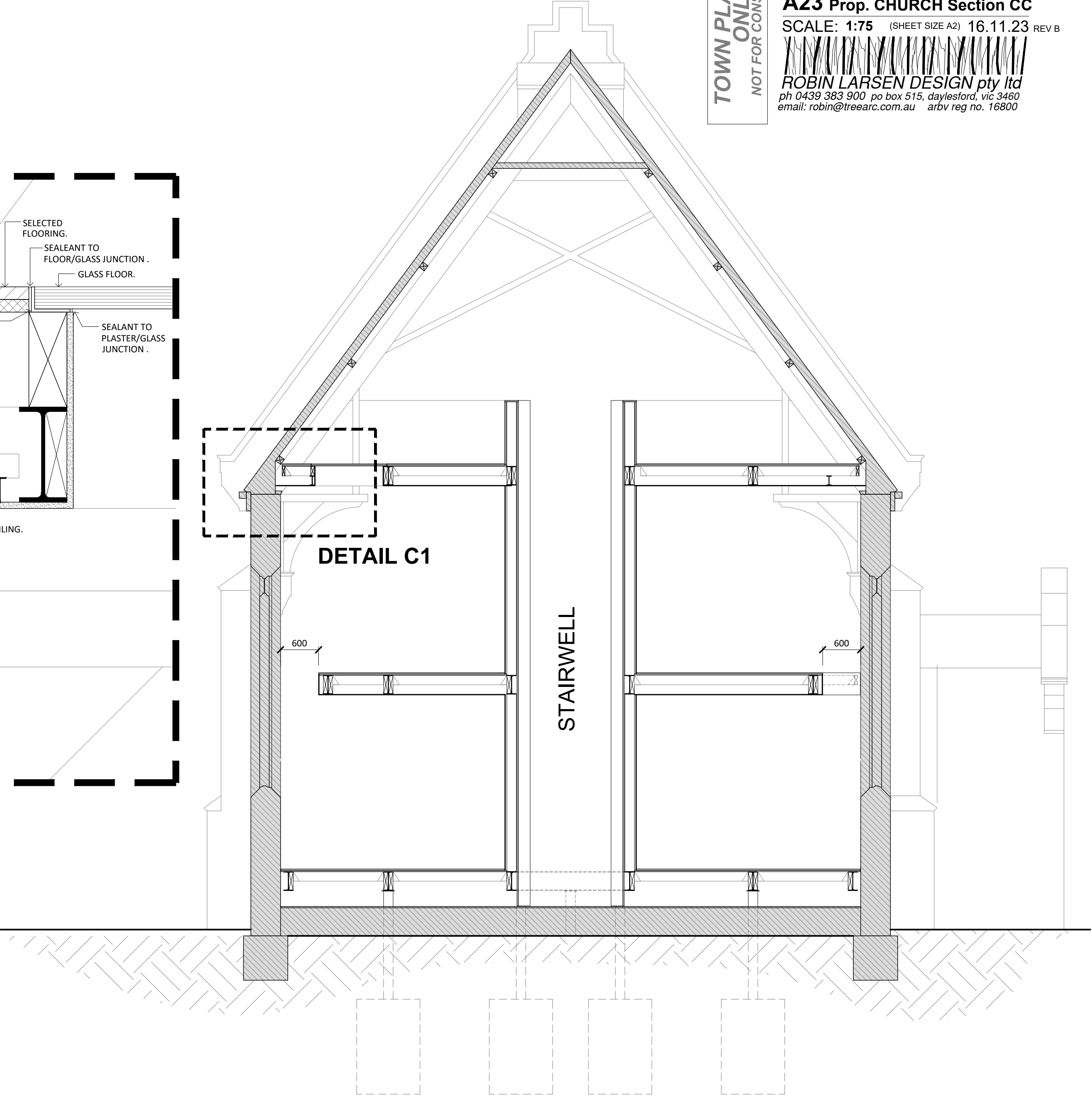
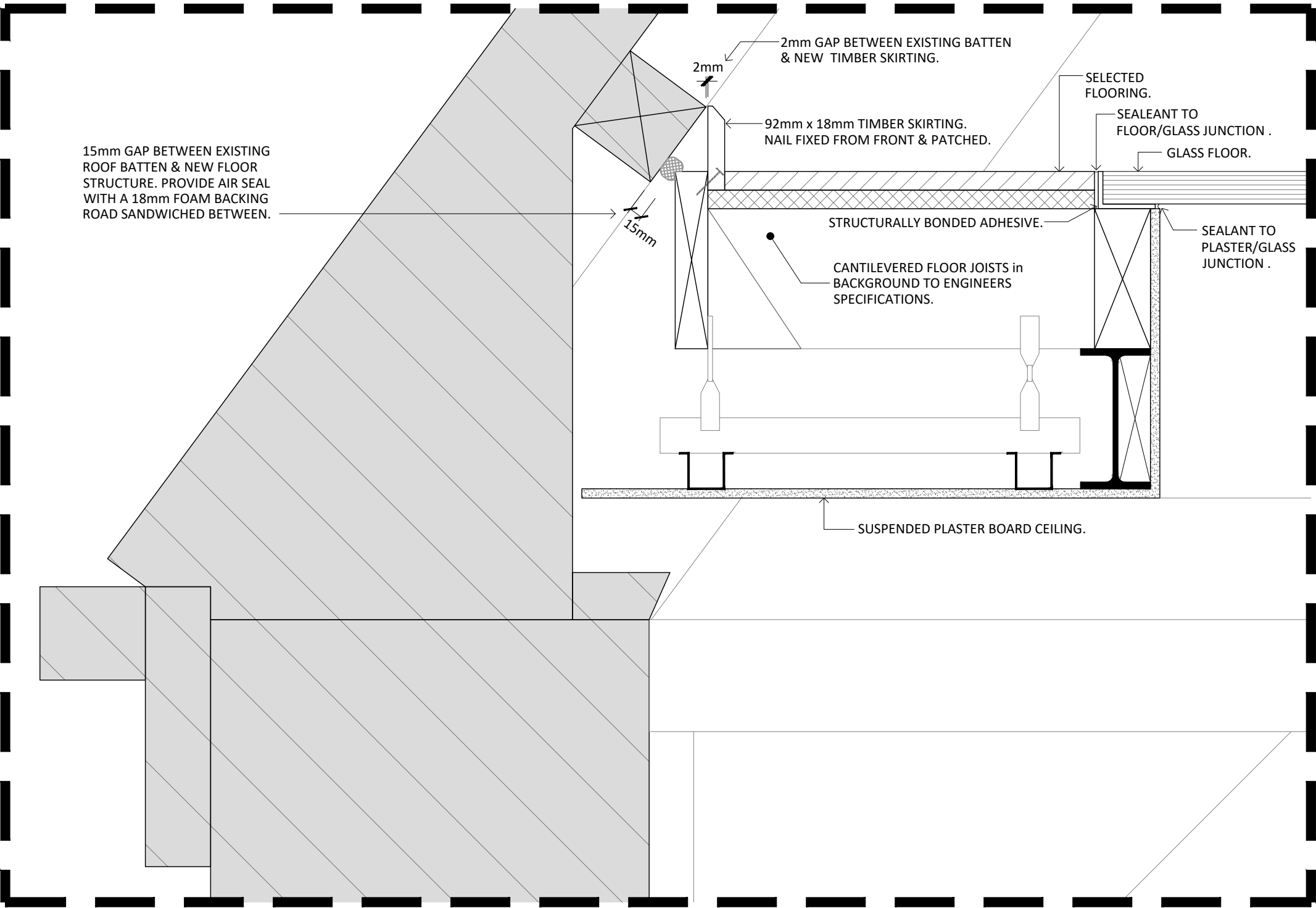
19A Camp St, Daylesford, VIC

A23 Prop. CHURCH Section CC

SCALE: 1:75 (SHEET SIZE A2) 16.11.23 REV B

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CONSERVATION OF THE EXISTING CHURCH BUILDING.
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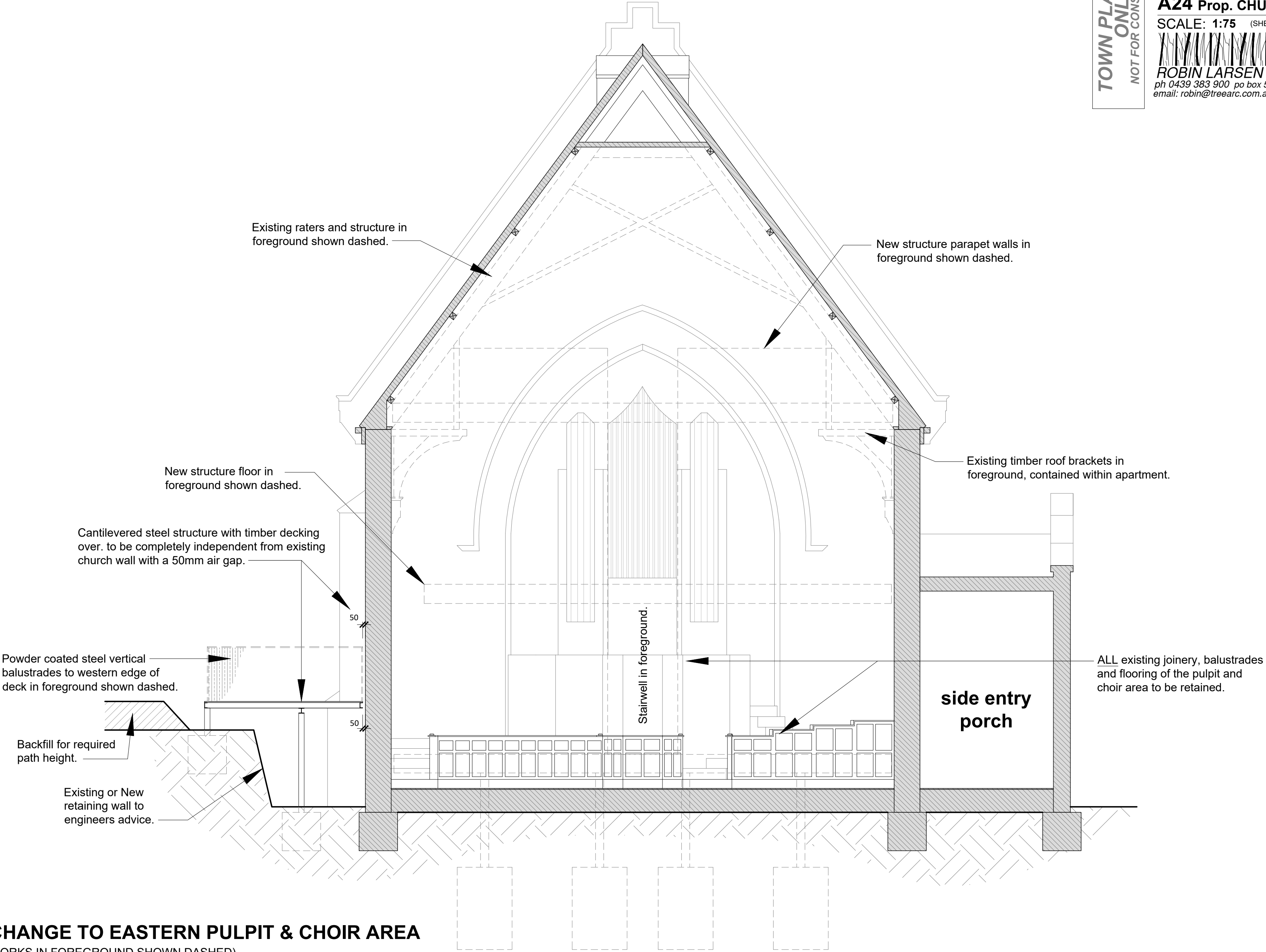
Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

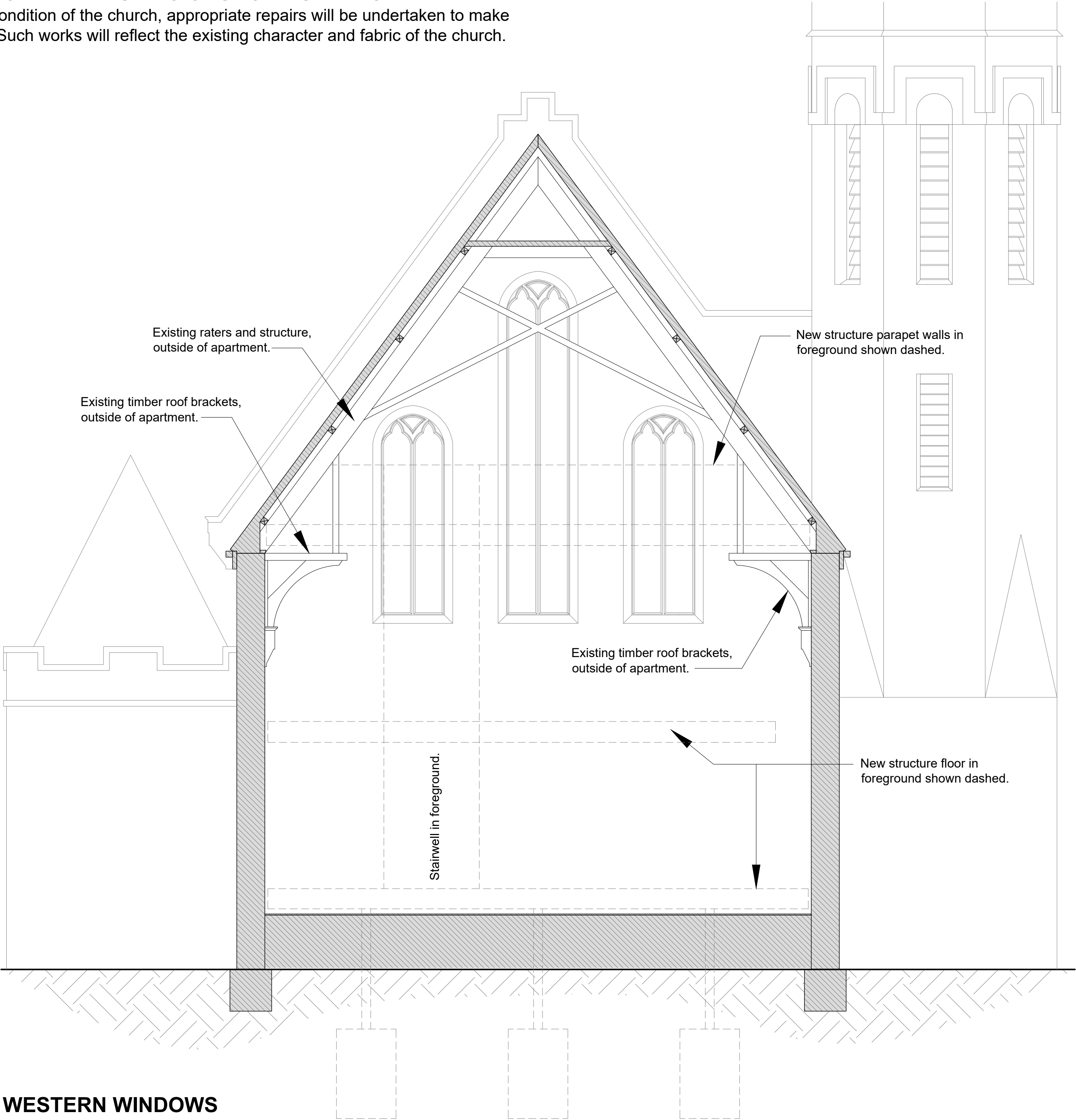
A24 Prop. CHURCH Section DD

SCALE: 1:75 (SHEET SIZE A2) 16.11.23 REV B

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ph 0439 383 900 po box 515, daylesford, vic 3460
email: robin@treearc.com.au arbv reg no. 16800



CONSERVATION OF THE EXISTING CHURCH BUILDING.
Given the dilapidated condition of the church, appropriate repairs will be undertaken to make the building habitable. Such works will reflect the existing character and fabric of the church.



NO CHANGE TO WESTERN WINDOWS
(NEW WORKS IN FOREGROUND SHOWN DASHED)

Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

A25 Prop. CHURCH Section EE

SCALE: 1:75 (SHEET SIZE A2) 16.11.23 REV B

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Alterations & additions to building & new buildings forming Group Accommodation.

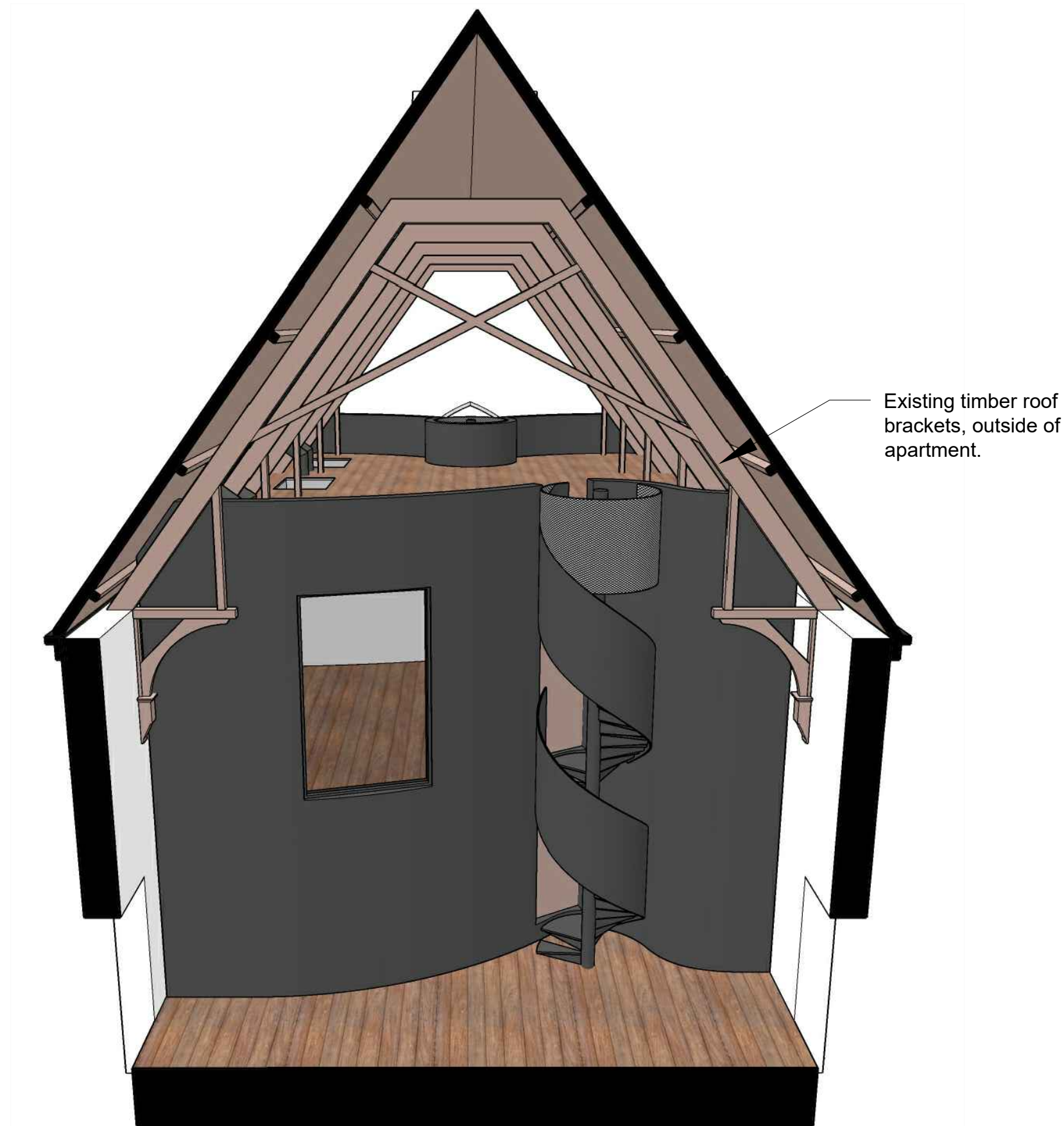
19A Camp St, Daylesford, VIC

A26 Prop. CHURCH Perspectives

SCALE: N/A (SHEET SIZE A2) 16.11.23 REV B

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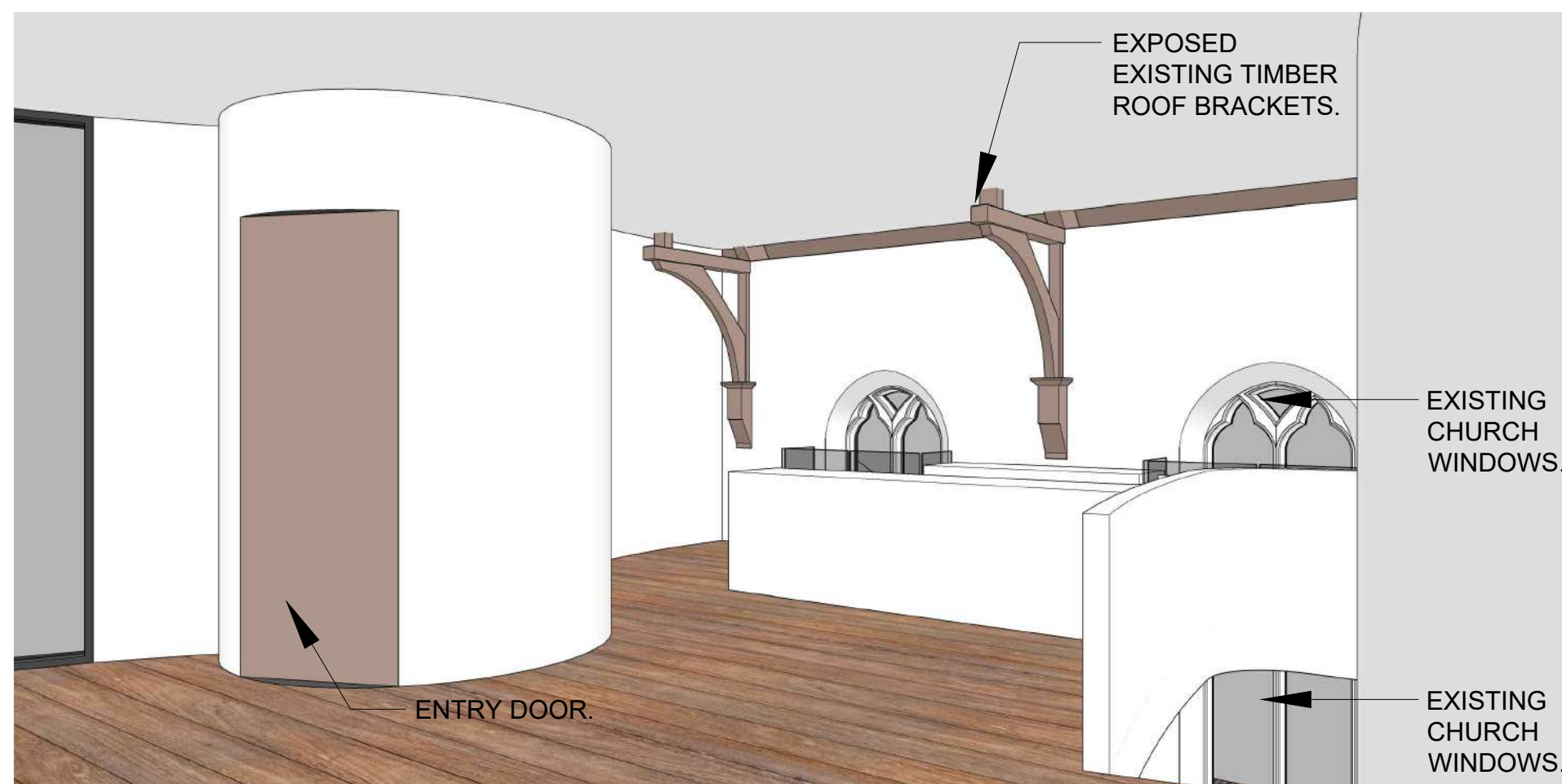
SECTION PERSPECTIVE AT WESTERN END LOOKING EAST



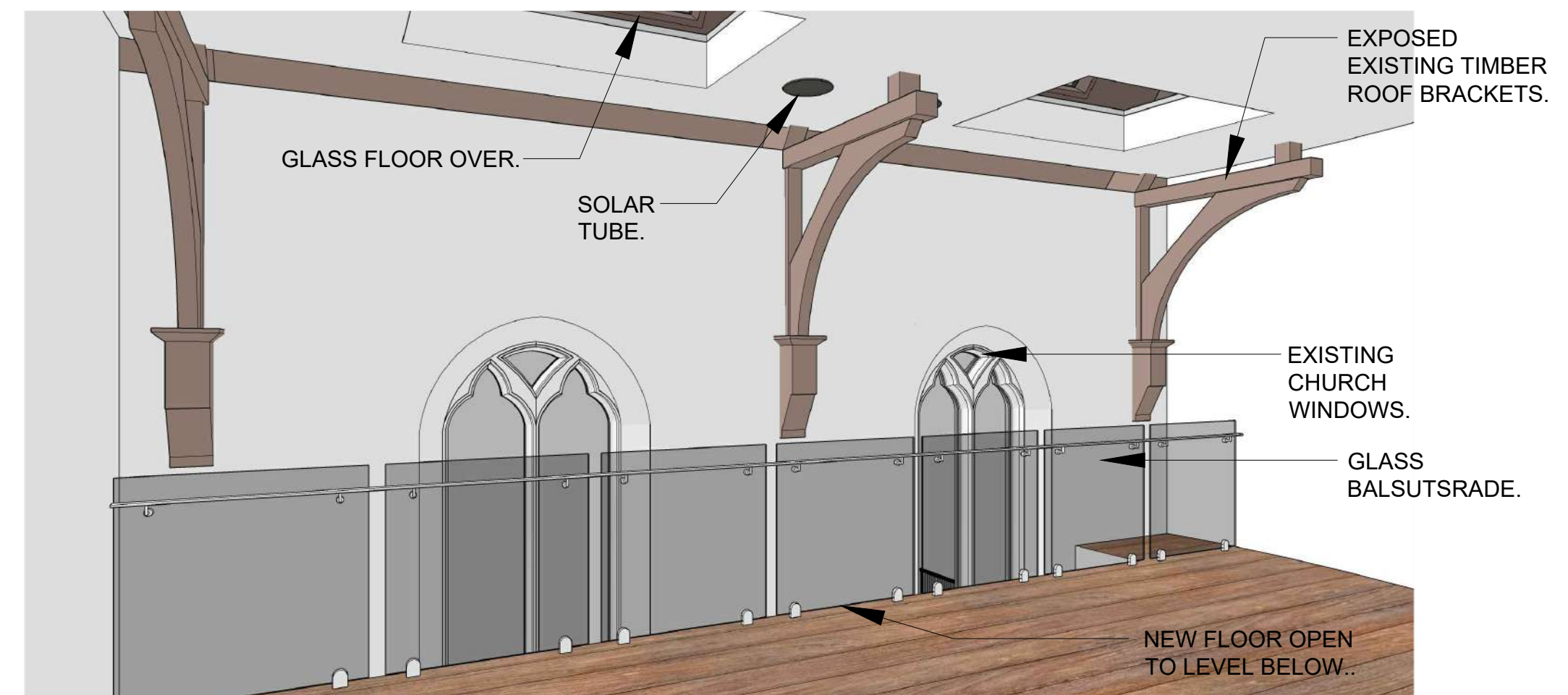
PERSPECTIVE AT EASTERN END LOOKING WEST FROM ORGAN



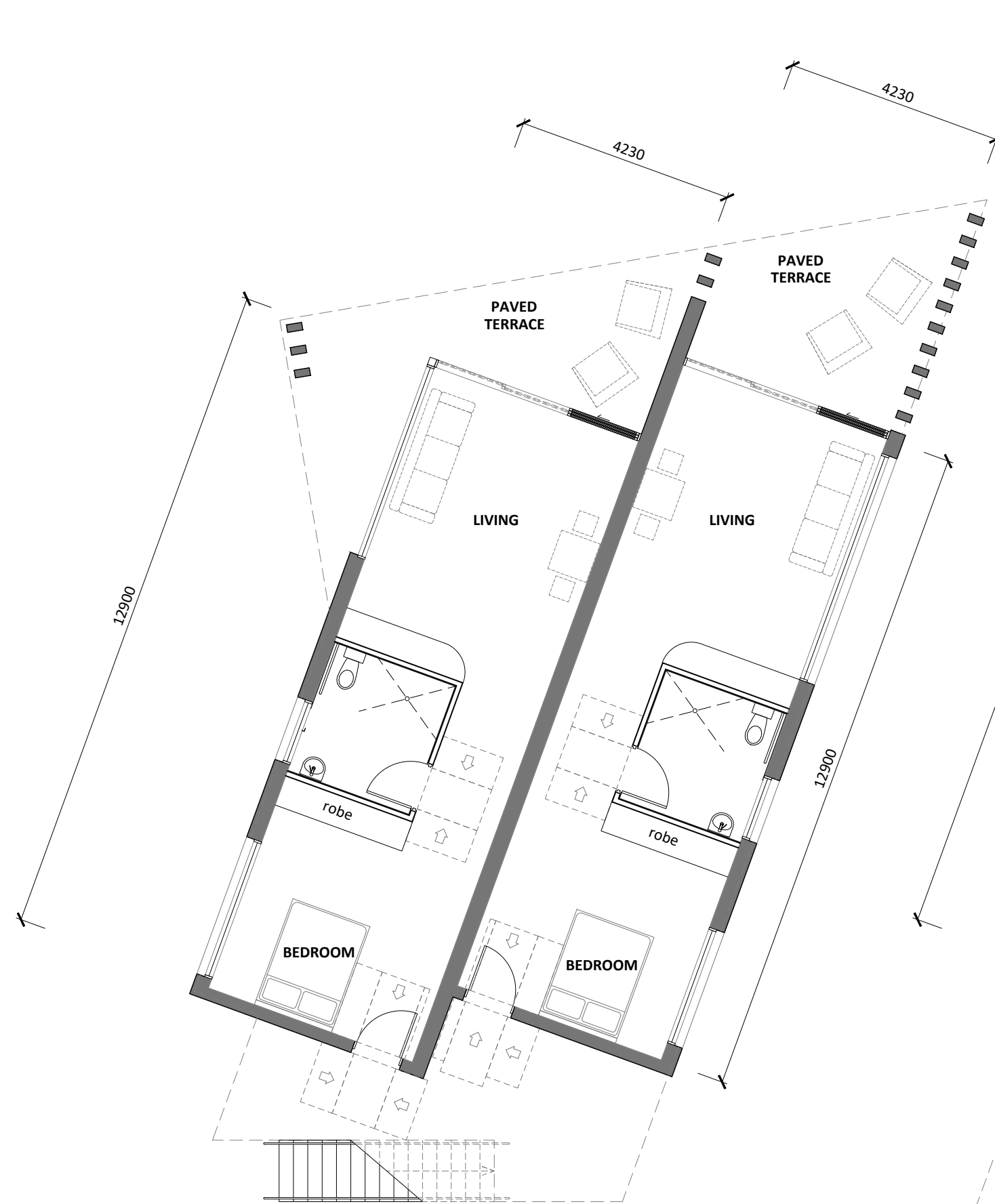
PERSPECTIVE AT EASTERN END LOOKING WEST FROM GROUND SIDE ENTRY



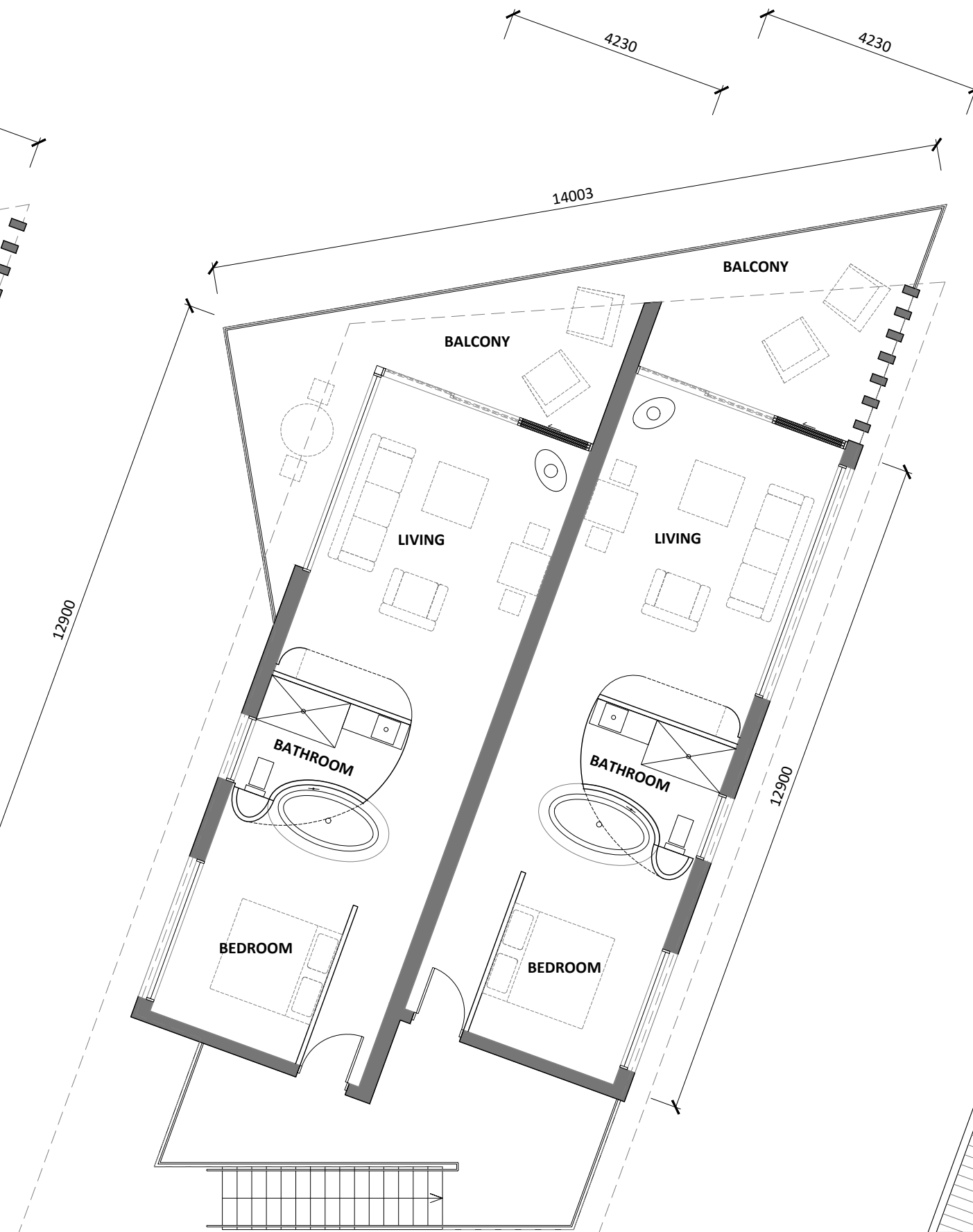
PERSPECTIVE IN EAST APARTMENT LOOKING SOUTH



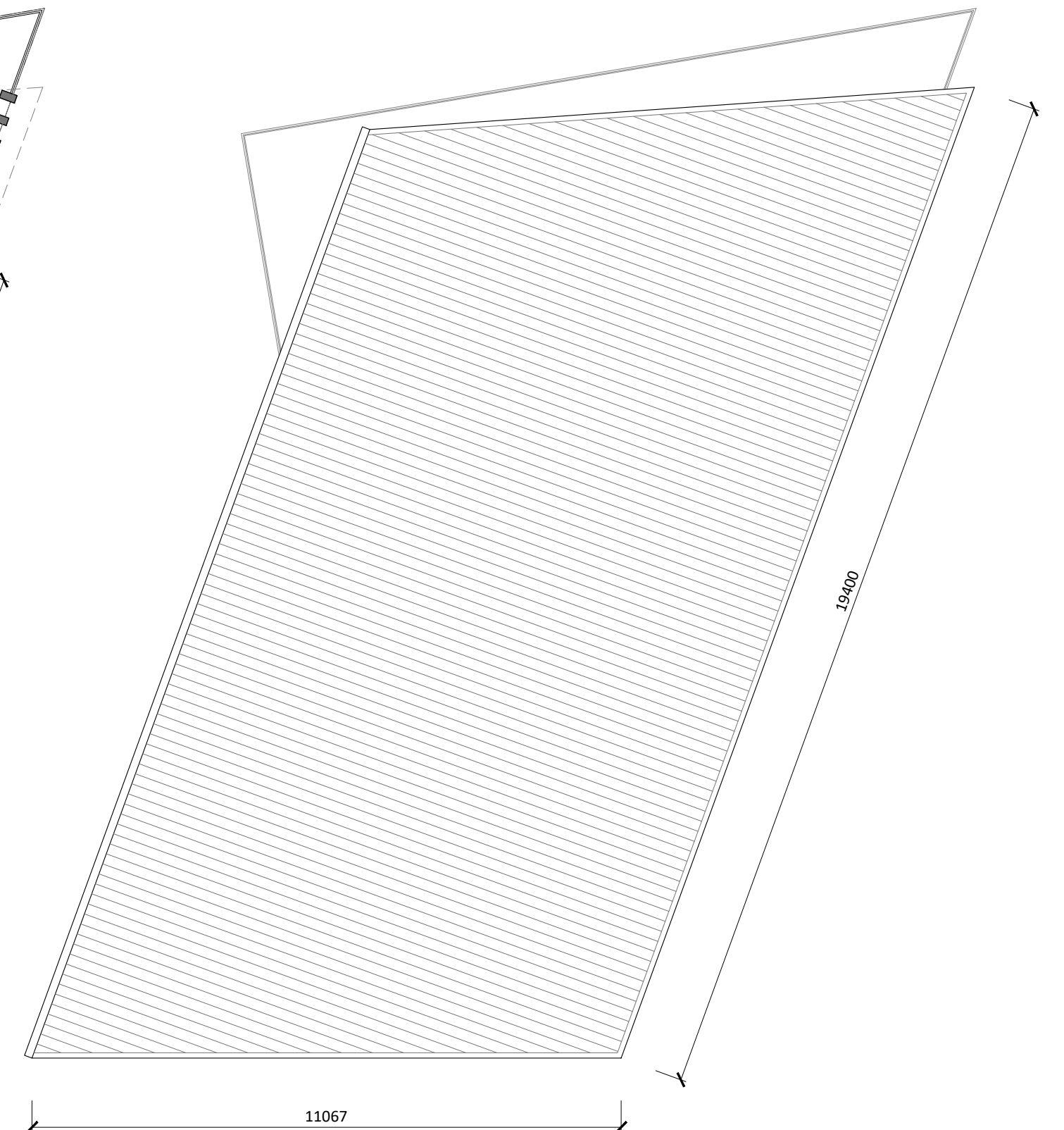
PERSPECTIVE IN EAST APARTMENT LOOKING NORTH



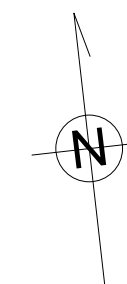
**BUILDING 1
FIRST FLOOR PLAN**



**BUILDING 1
FIRST FLOOR PLAN**



**BUILDING 1
ROOF PLAN**



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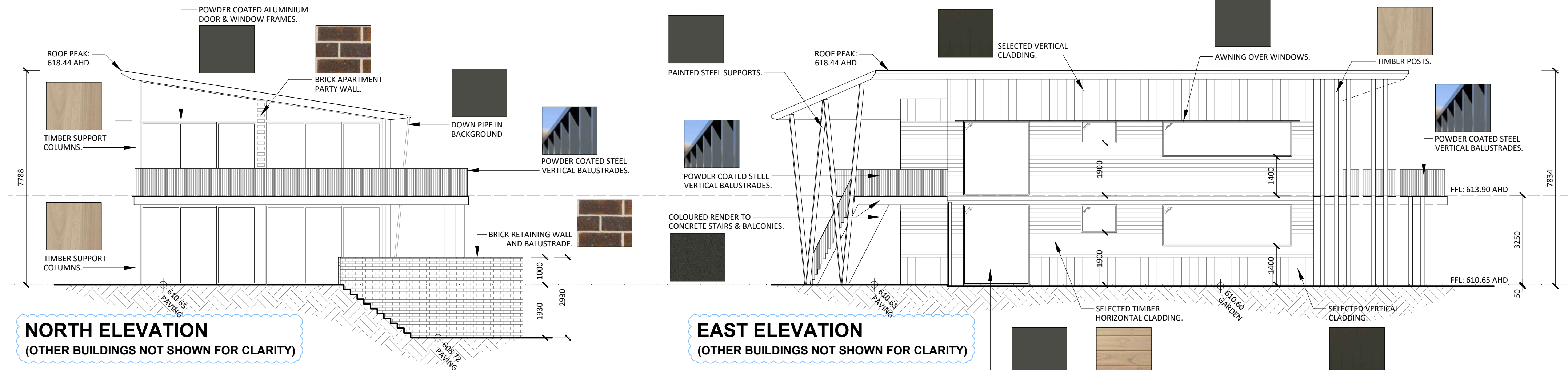
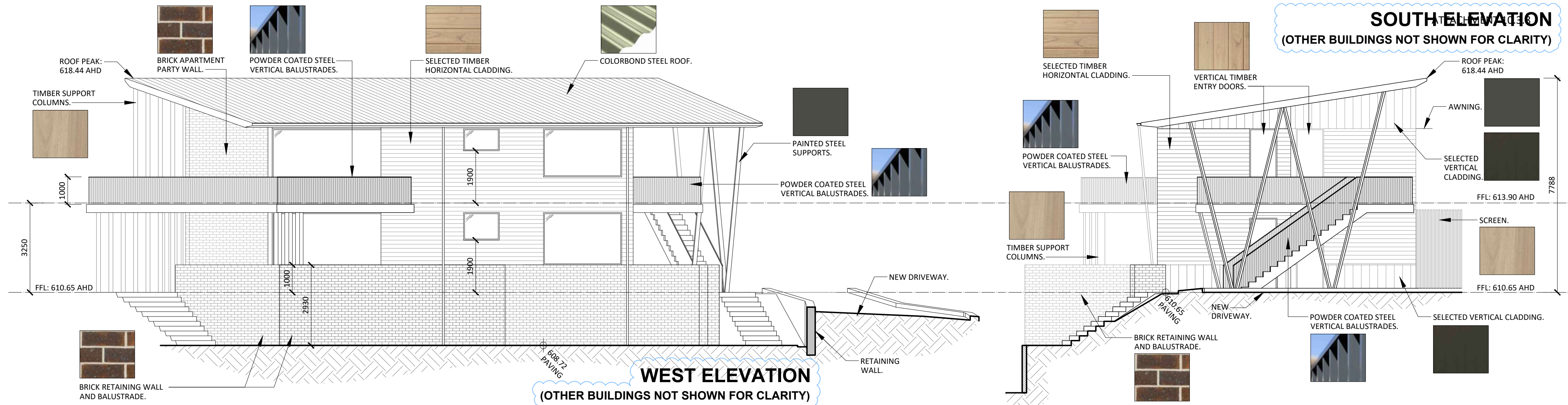
Alterations & additions to building & new buildings forming Group Accommodation.

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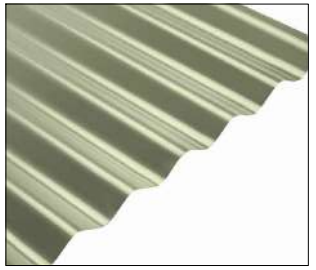

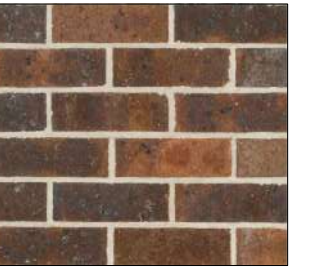
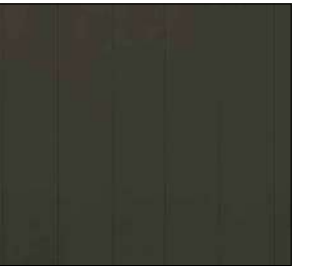






A27 Prop. BUILD 1 Floor Plans

SCALE: **1:200** (SHEET SIZE A2) 16.11.23 REV B

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 email: robin@treearc.com.au arbv reg no. 16800



MATERIAL SCHEDULE (BUILDING 1)

 <p>ROOFING PROFILED COLORBOND ROOFING: PALE EUCALYPT</p>	 <p>GUTTERS, DOWNPIPES, FASCIAS & EAVES COLORBOND: WOODLAND GREY</p>	 <p>BRICKS AUSTRAL HAWTHORN - BLACK</p>	 <p>VERTICAL CLADDING SYCON AXON CLADDING: 400mm SMOOTH PAINTED IN: DULUX ECOLOGY GREEN</p>	 <p>HORIZONTAL TIMBER CLADDING RECYCLED TIMBER BOARDS: 200mm NATURAL FINISH</p>
 <p>DOOR & WINDOW FRAMES POWDER COATED ALUMINIUM: WOODLAND GREY</p>	 <p>VERTICAL TIMBER RECYCLED TIMBER TO MATCH CLADDING: NATURAL FINISH</p>	 <p>BALUSTRADES & STEEL SUPPORTS POWDER COATED VERTICAL STEEL: WOODLAND GREY</p>	 <p>TIMBER POSTS RECYCLED TIMBER TO MATCH CLADDING: NATURAL FINISH</p>	 <p>RENDER FINNISH COLOURED RENDER: WOODLAND GREY</p>

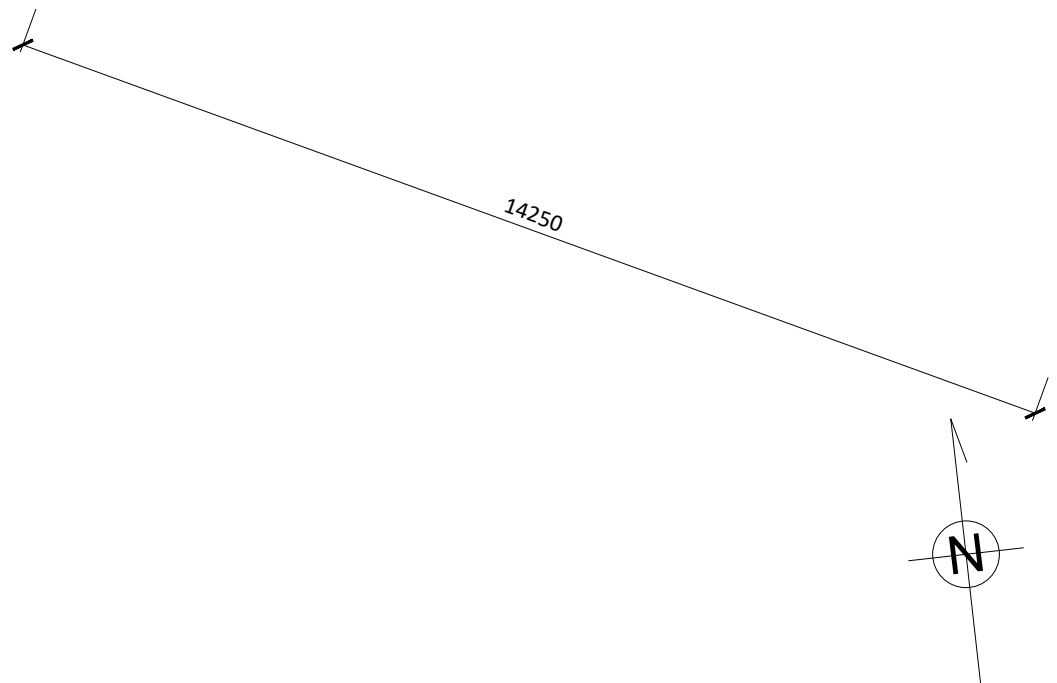
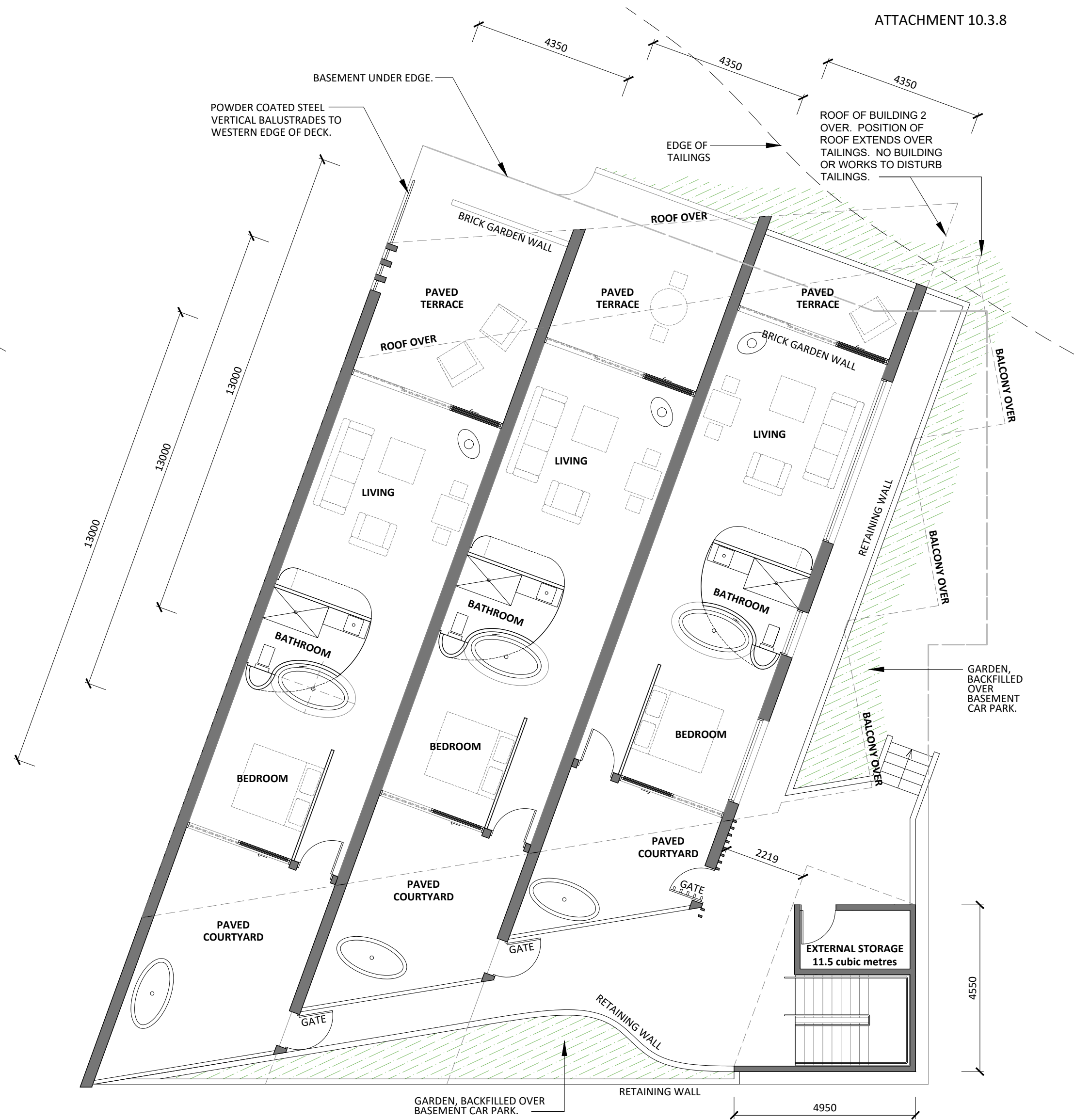
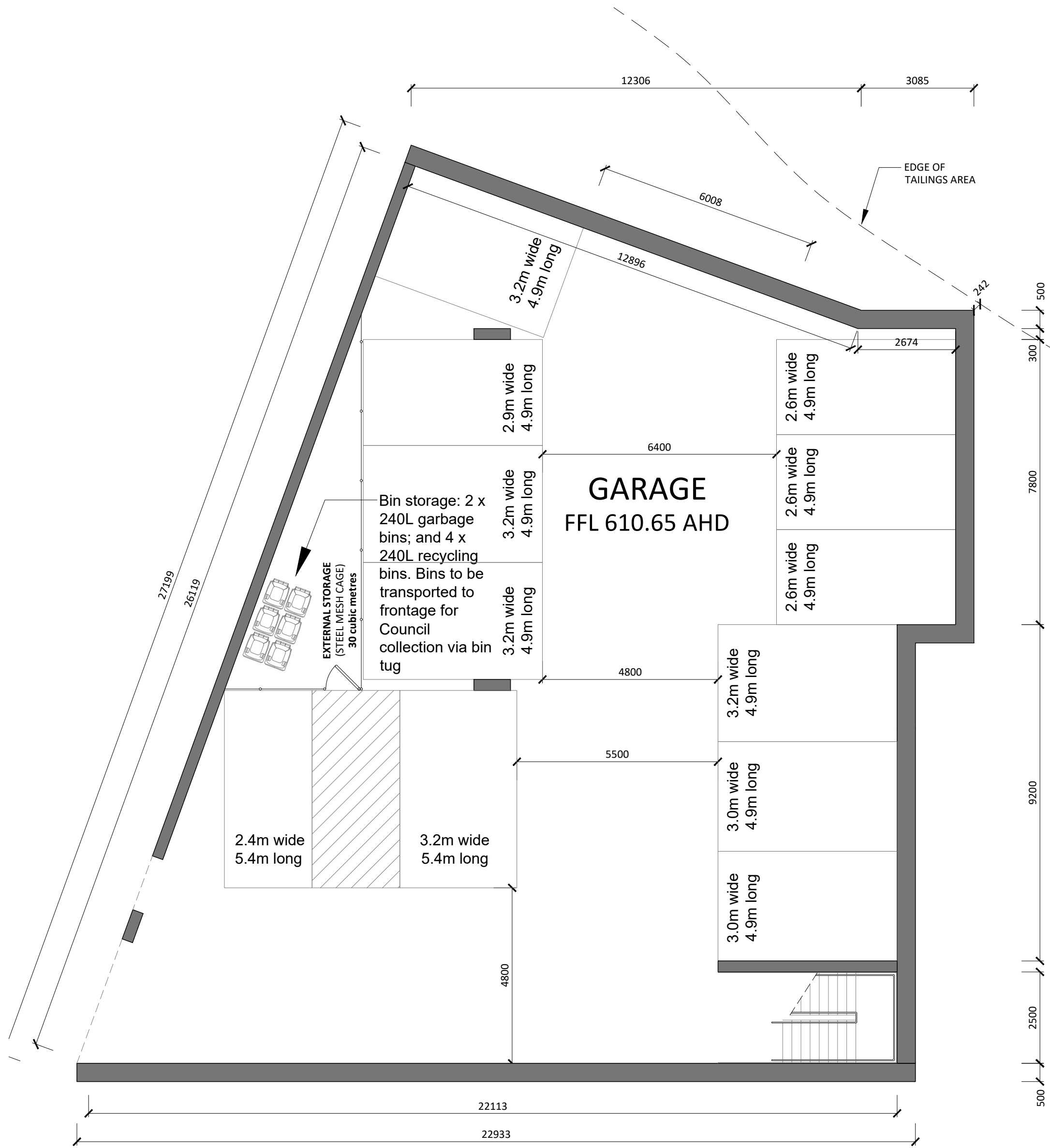
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Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

A28 Prop. BUILD 1 Elevations
SCALE: 1:100 (SHEET SIZE A2) 16.11.23 REV B

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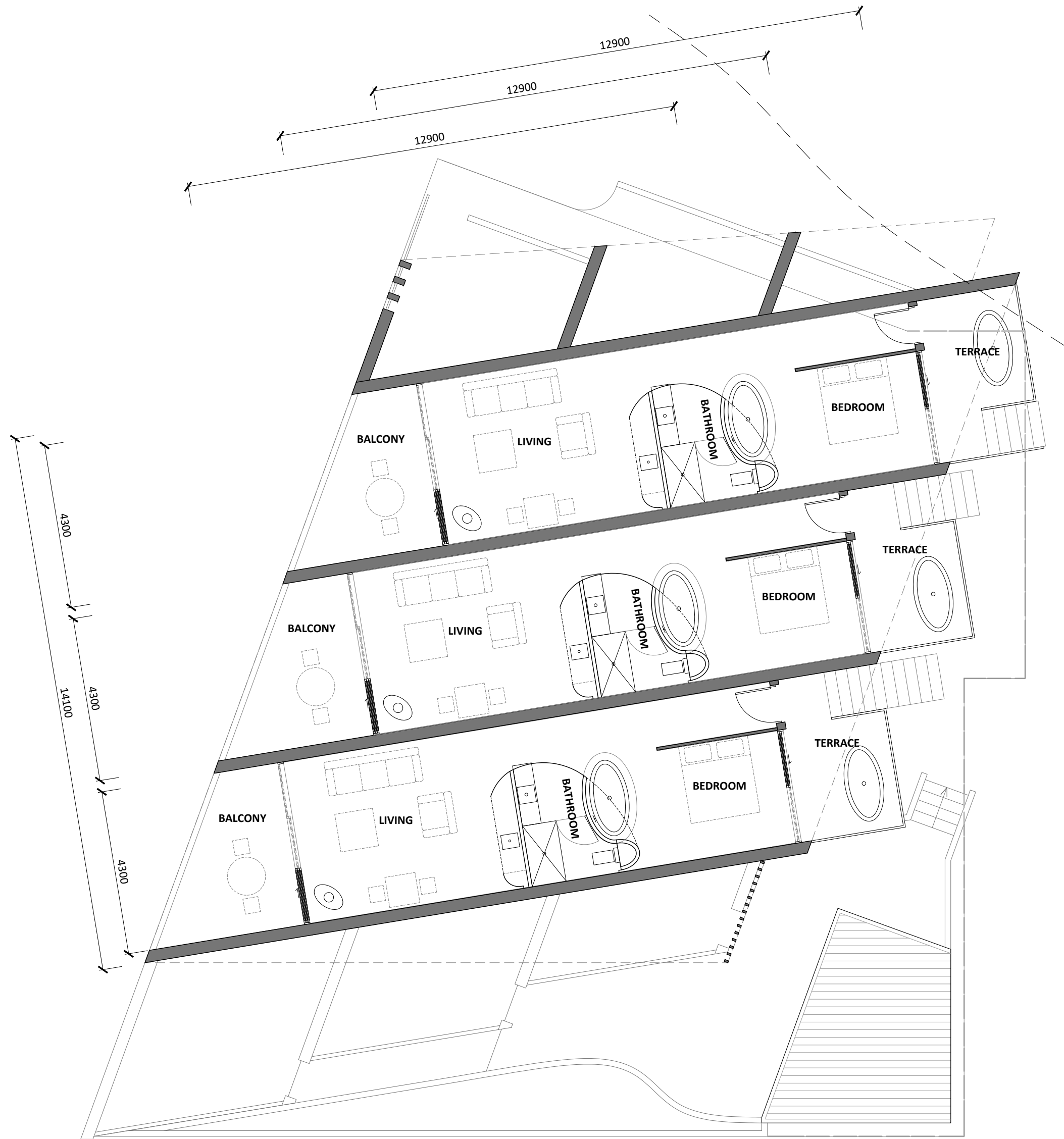


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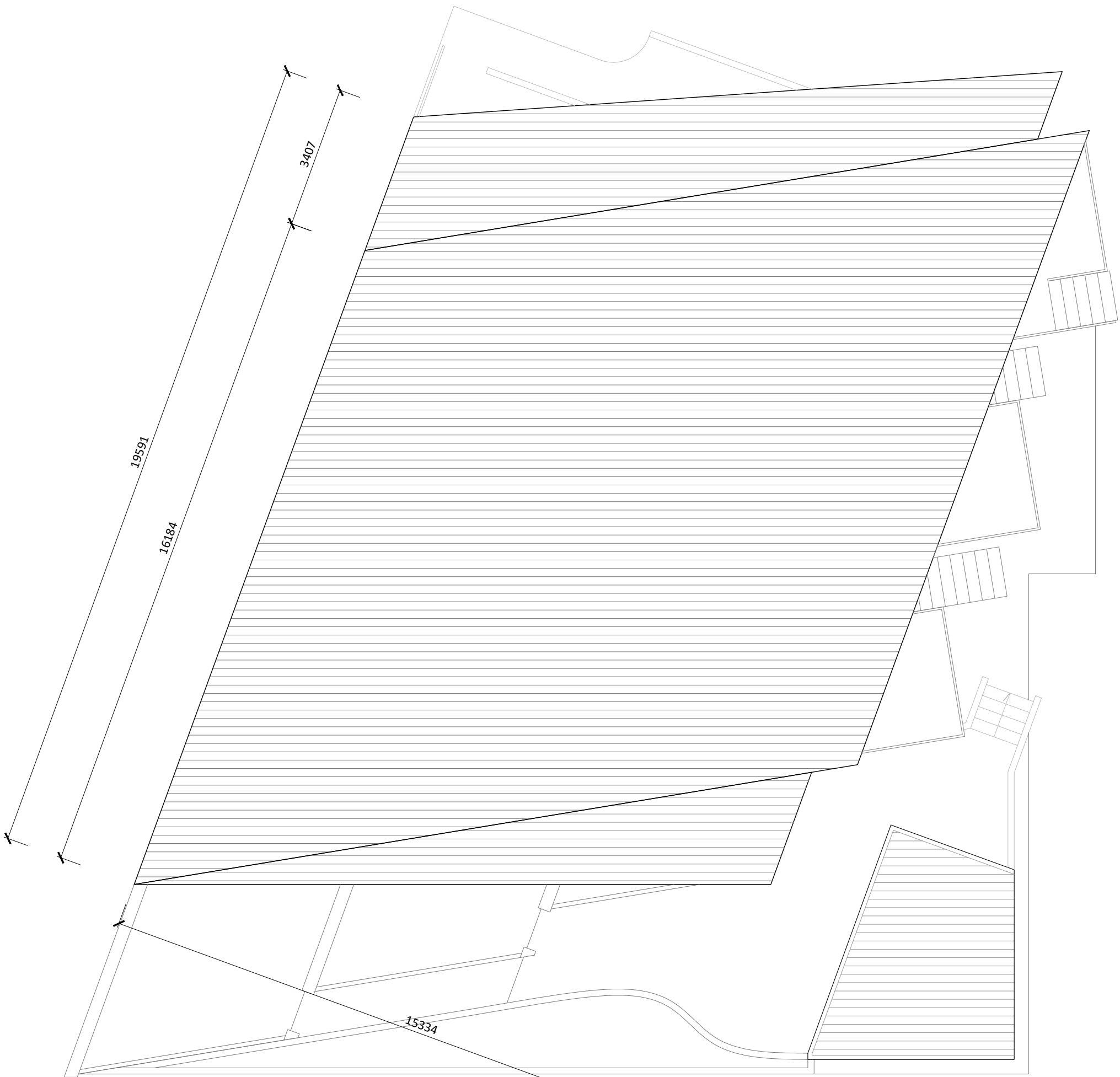
Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC
Prop. BUILD 2 Basement A29 and Ground Floor Plans
SCALE: 1:100 (SHEET SIZE A2) 16.11.23 REV B

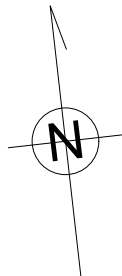
ROBIN LARSEN DESIGN pty ltd
ph 0439 383 900 po box 515, daylesford, vic 3460
email: robin@treearc.com.au arbv reg no. 16800



FIRST FLOOR PLAN



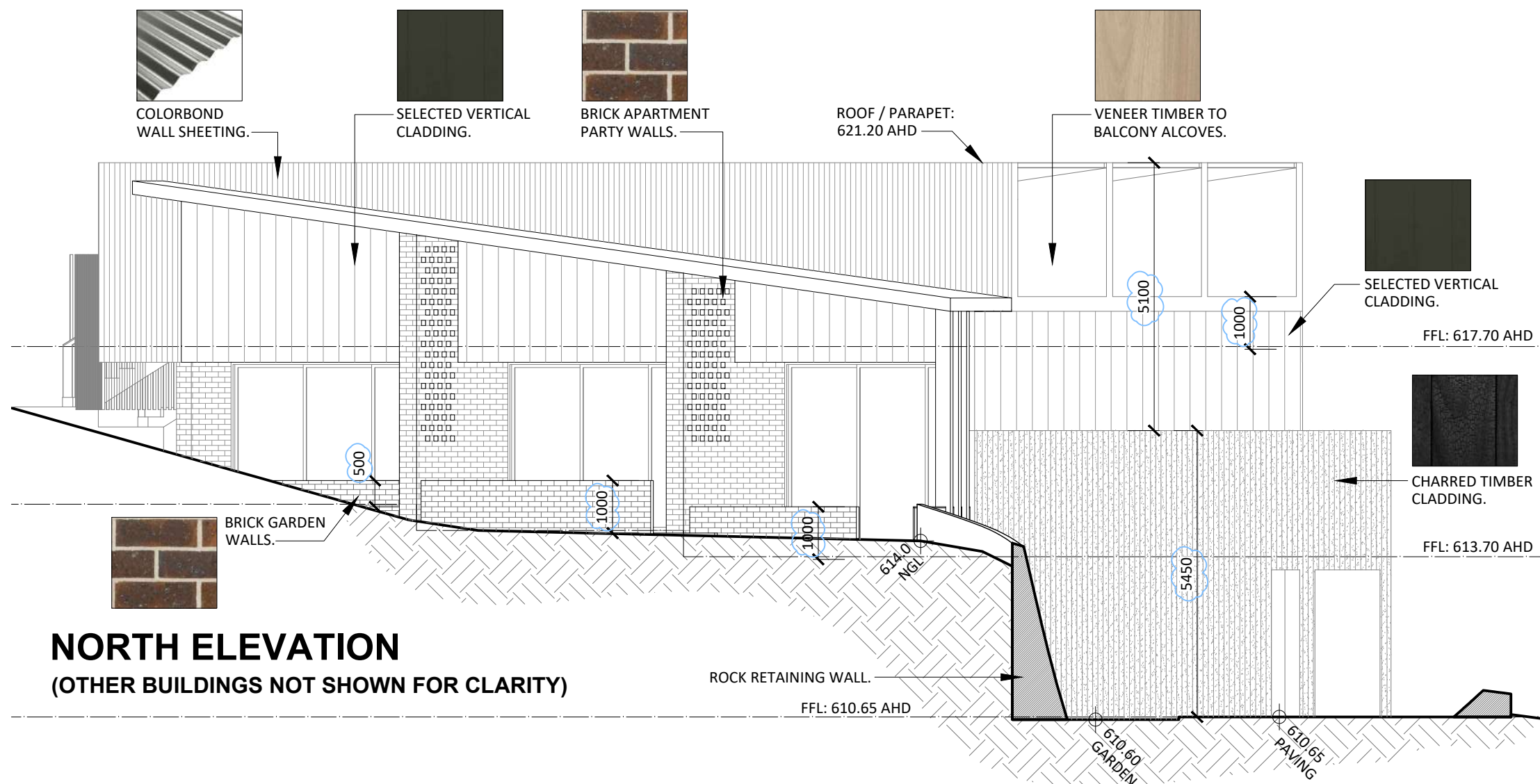
ROOF PLAN



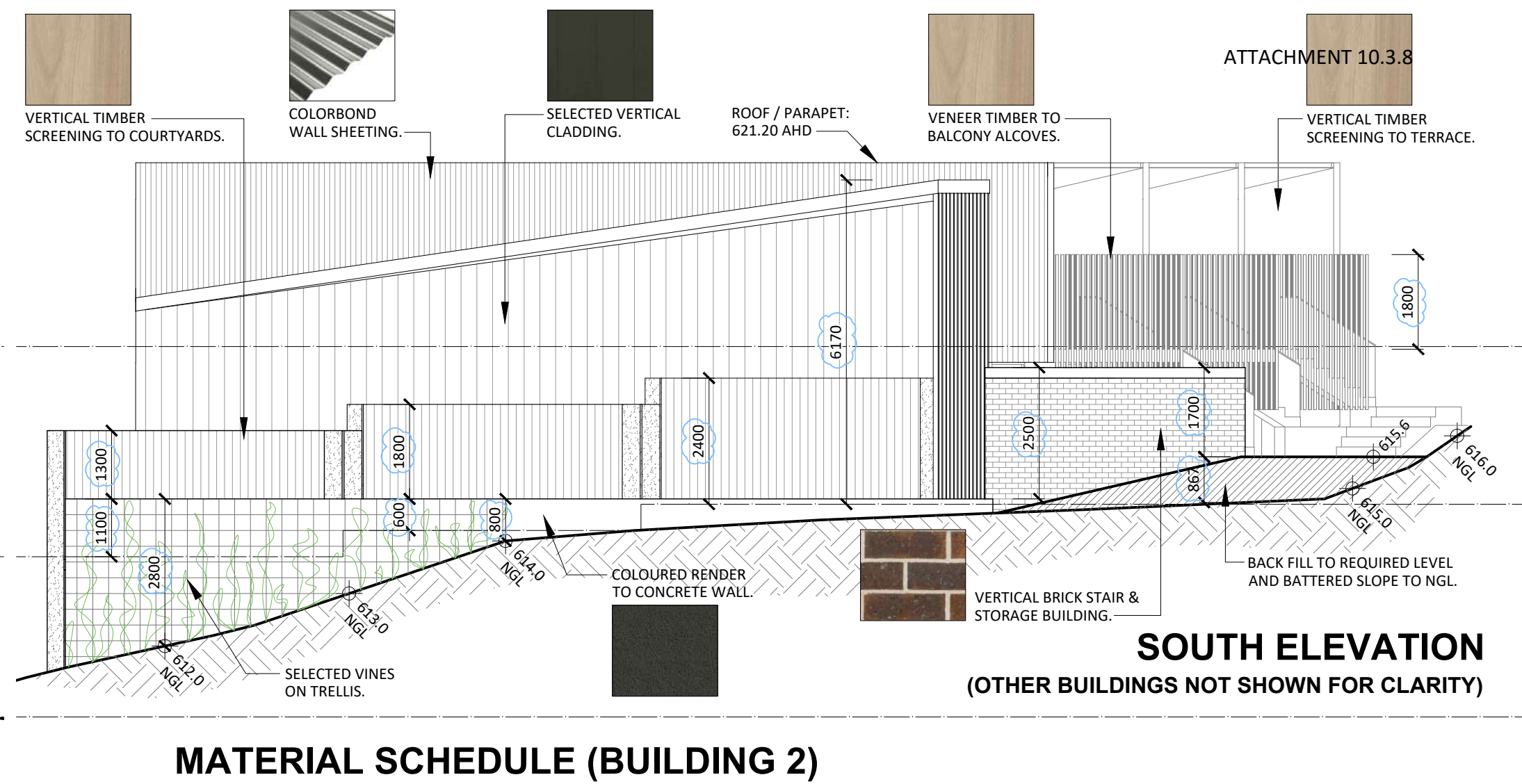
TOWN PLANNING
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Alterations & additions to building & new
buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC
Prop. BUILD 2
A30 First Floor and Roof Plans
SCALE: 1:200 (SHEET SIZE A2) 16.11.23 REV B
ROBIN LARSEN DESIGN pty ltd
ph 0439 383 900 po box 515, daylesford, vic 3460
email: robin@treearc.com.au arbv reg no. 16800

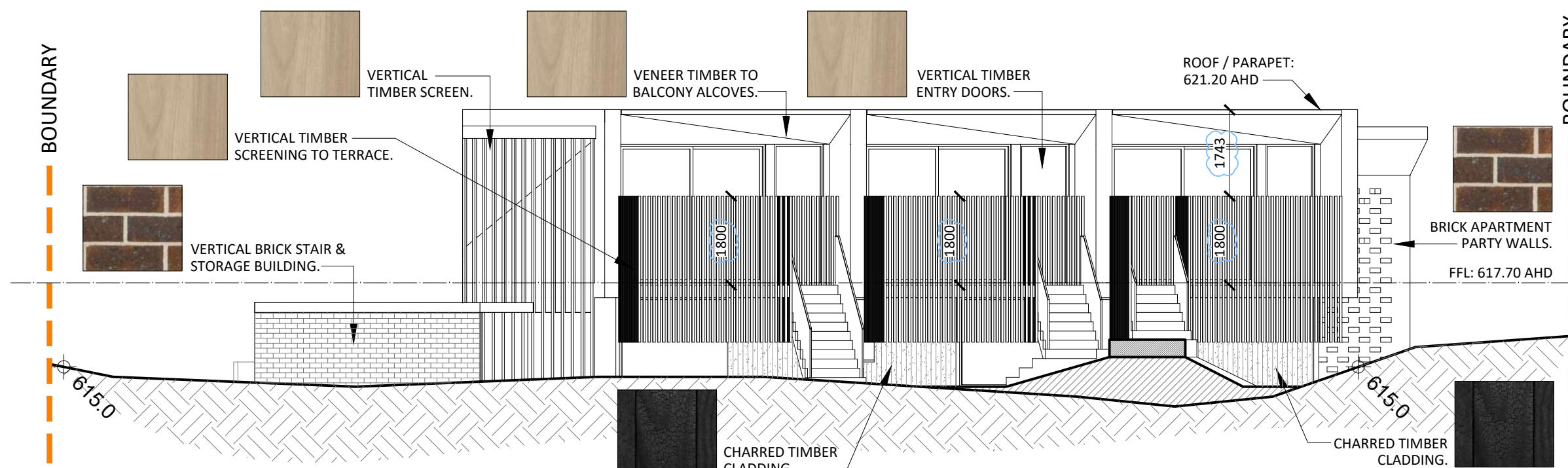


NORTH ELEVATION
(OTHER BUILDINGS NOT SHOWN FOR CLARITY)

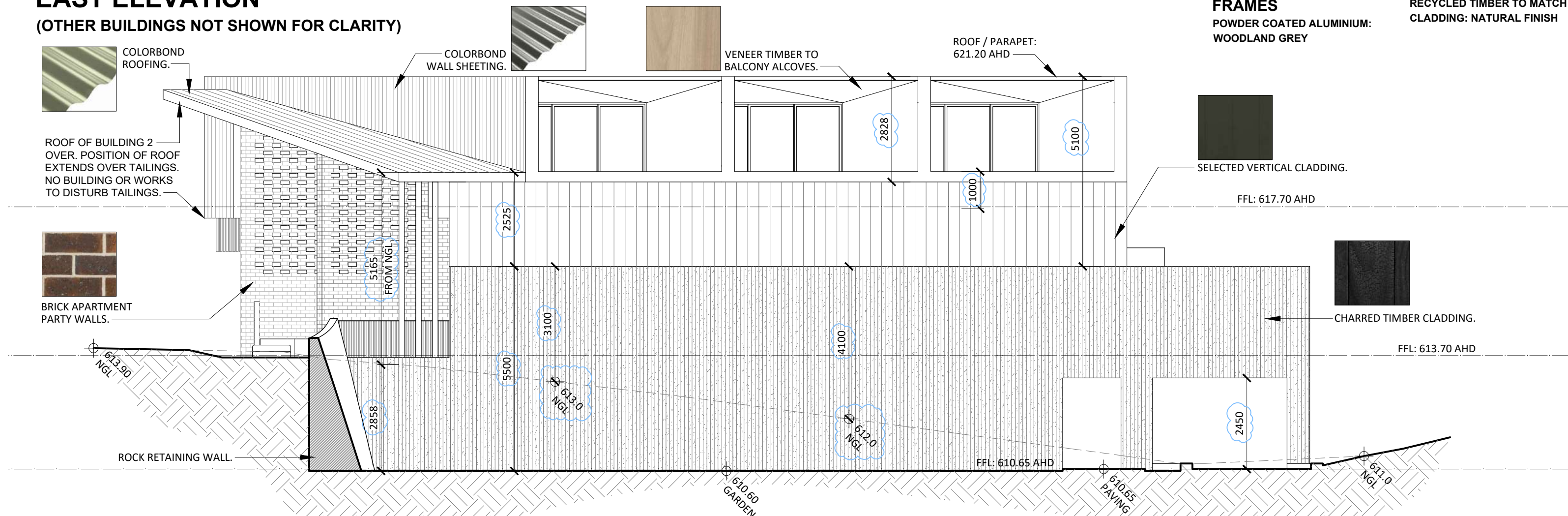


SOUTH ELEVATION
(OTHER BUILDINGS NOT SHOWN FOR CLARITY)

MATERIAL SCHEDULE (BUILDING 2)



EAST ELEVATION
(OTHER BUILDINGS NOT SHOWN FOR CLARITY)



WEST ELEVATION
(OTHER BUILDINGS NOT SHOWN FOR CLARITY)

 ROOFING PROFILED COLORBOND ROOFING: PALE EUCALYPT	 WALL SHEETING PROFILED COLORBOND WALL SHEETING: WOODLAND GREY	 GUTTERS, DOWNPIPES, FASCIAS & EAVES COLORBOND: WOODLAND GREY	 BRICKS AUSTRAL HAWTHORN - BLACK	 VERTICAL CLADDING SYCON AXON CLADDING: 400mm SMOOTH. PAINTED IN: DULUX ECOLOGY GREEN
 DOOR & WINDOW FRAMES POWDER COATED ALUMINIUM: WOODLAND GREY	 VERTICAL TIMBER RECYCLED TIMBER TO MATCH CLADDING: NATURAL FINISH	 BALUSTRADES & STEEL SUPPORTS POWDER COATED VERTICAL STEEL: WOODLAND GREY	 VENEER TIMBER RECYCLED TIMBER TO MATCH CLADDING: NATURAL FINISH	 TIMBER POSTS RECYCLED TIMBER TO MATCH CLADDING: NATURAL FINISH
			 RENDER FINNISH COLOURED RENDER: WOODLAND GREY	 CHARRED TIMBER CHARRED TIMBER VERTICAL CLADDING

TOWN PLANNING ONLY
NOT FOR CONSTRUCTION

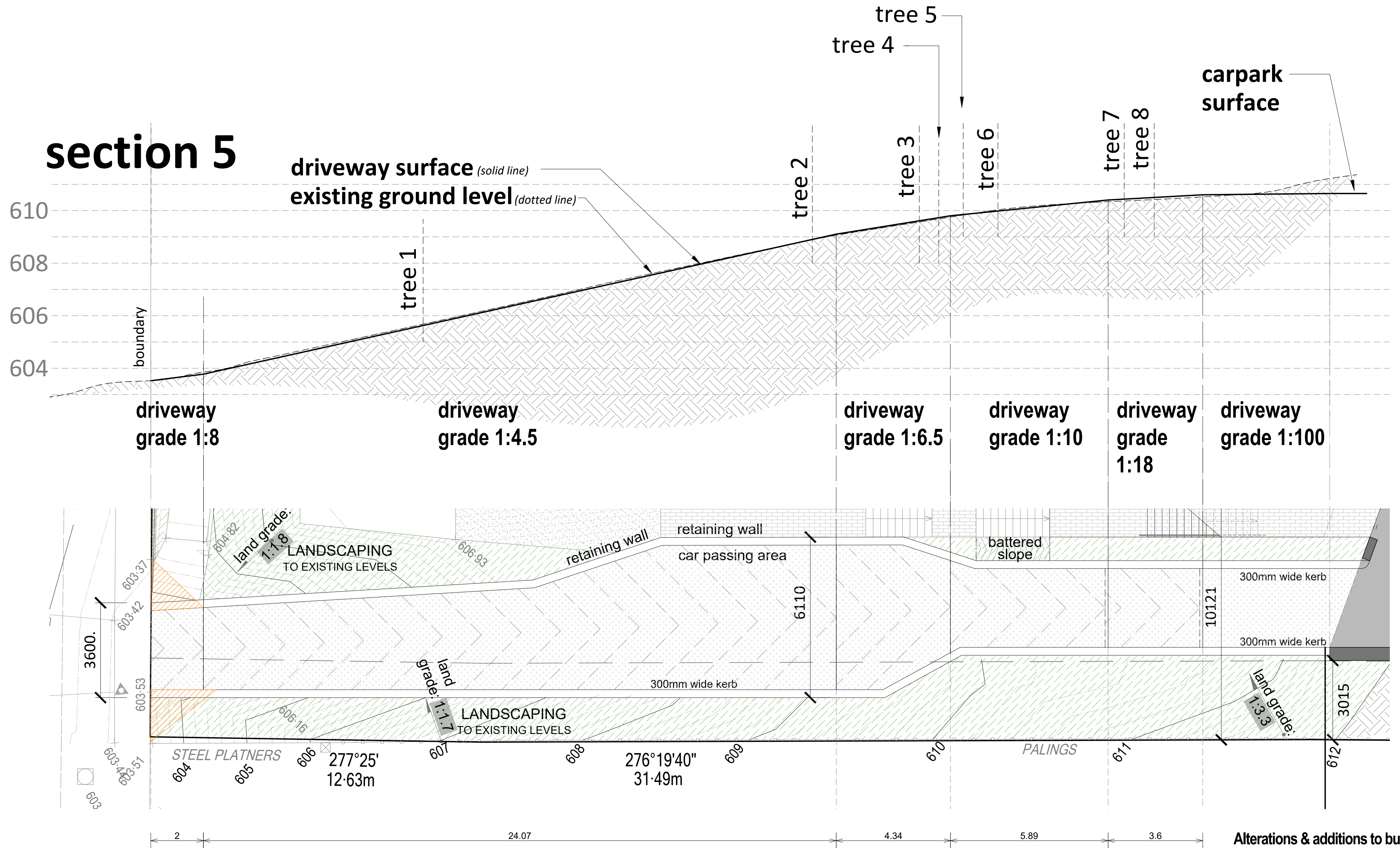
Alterations & additions to building & new buildings forming Group Accommodation.

19A Camp St, Daylesford, VIC

A31 Prop. BUILD 2 Elevations
SCALE: 1:100 (SHEET SIZE A2) 16.11.23 REV B

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section 5



site plan detail

Alterations & additions to building & new buildings forming Group Accommodation.

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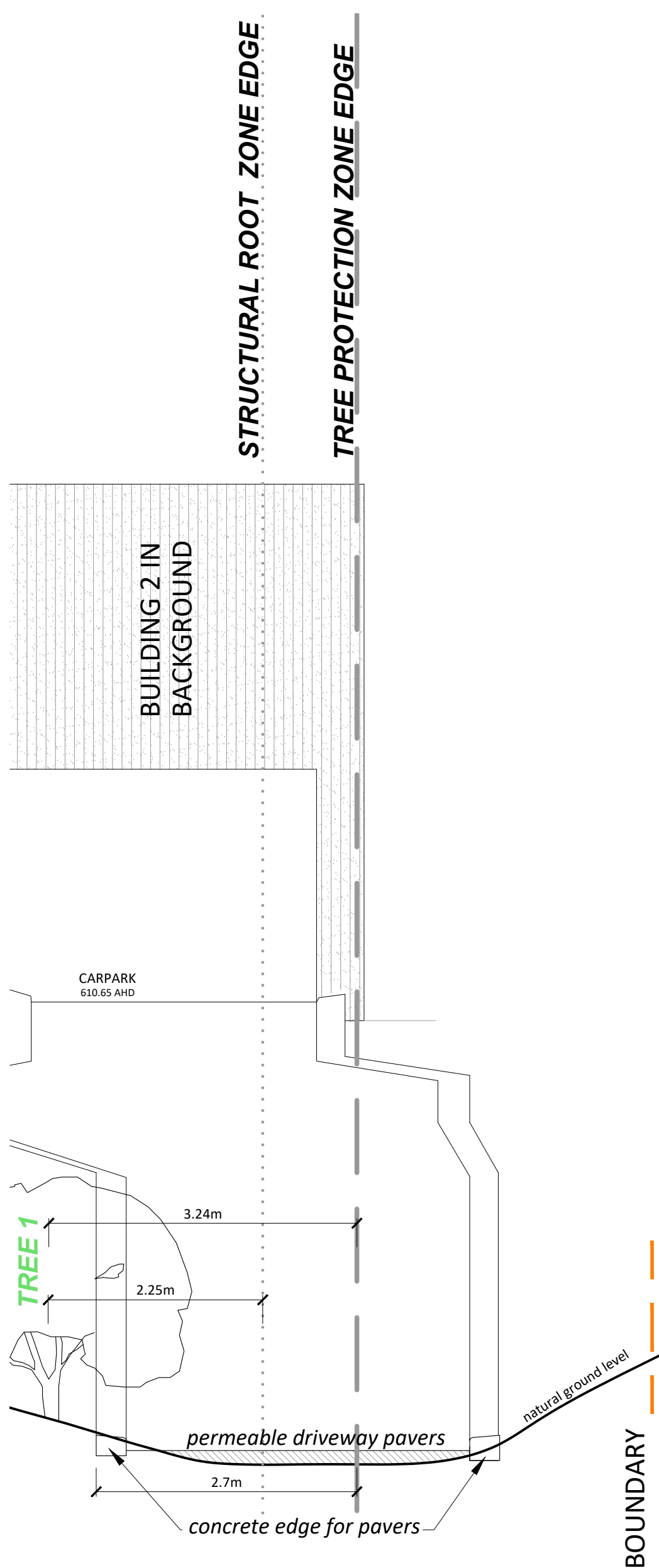
A32 Proposed Driveway

SCALE: 1:100 (SHEET SIZE A2) 16.11.23 REV B

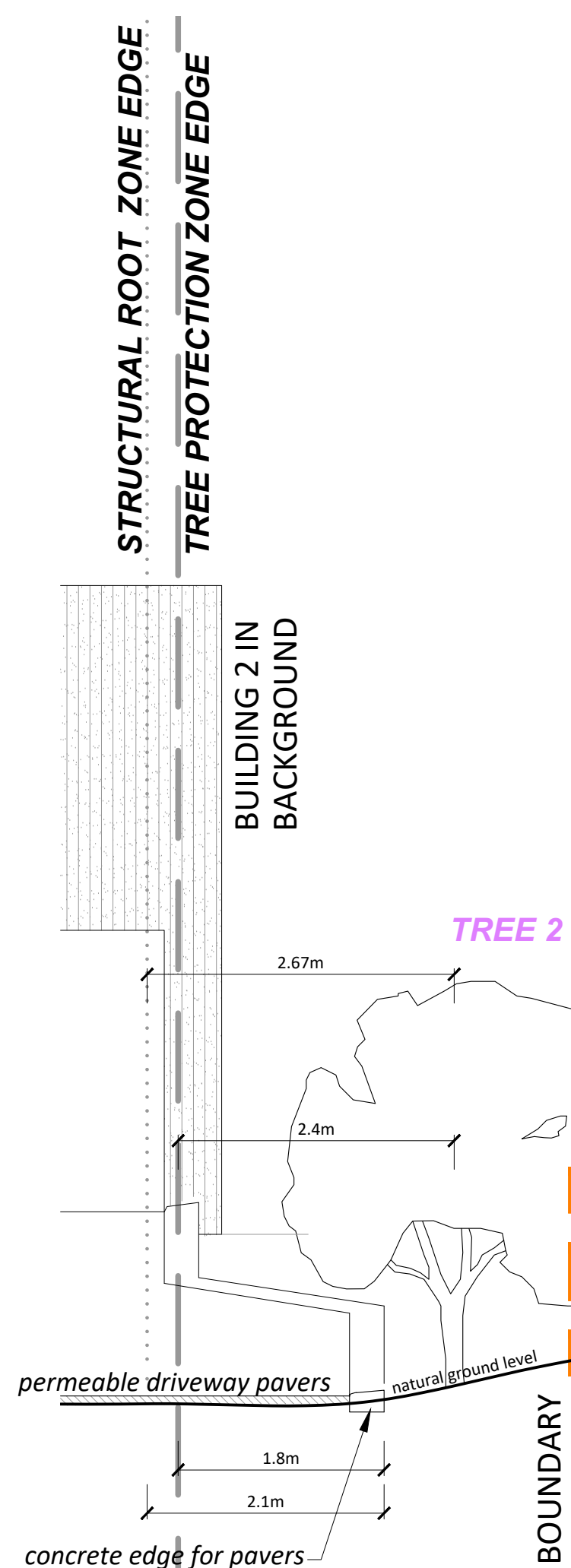
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**TOWN PLANNING
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SECTION T1

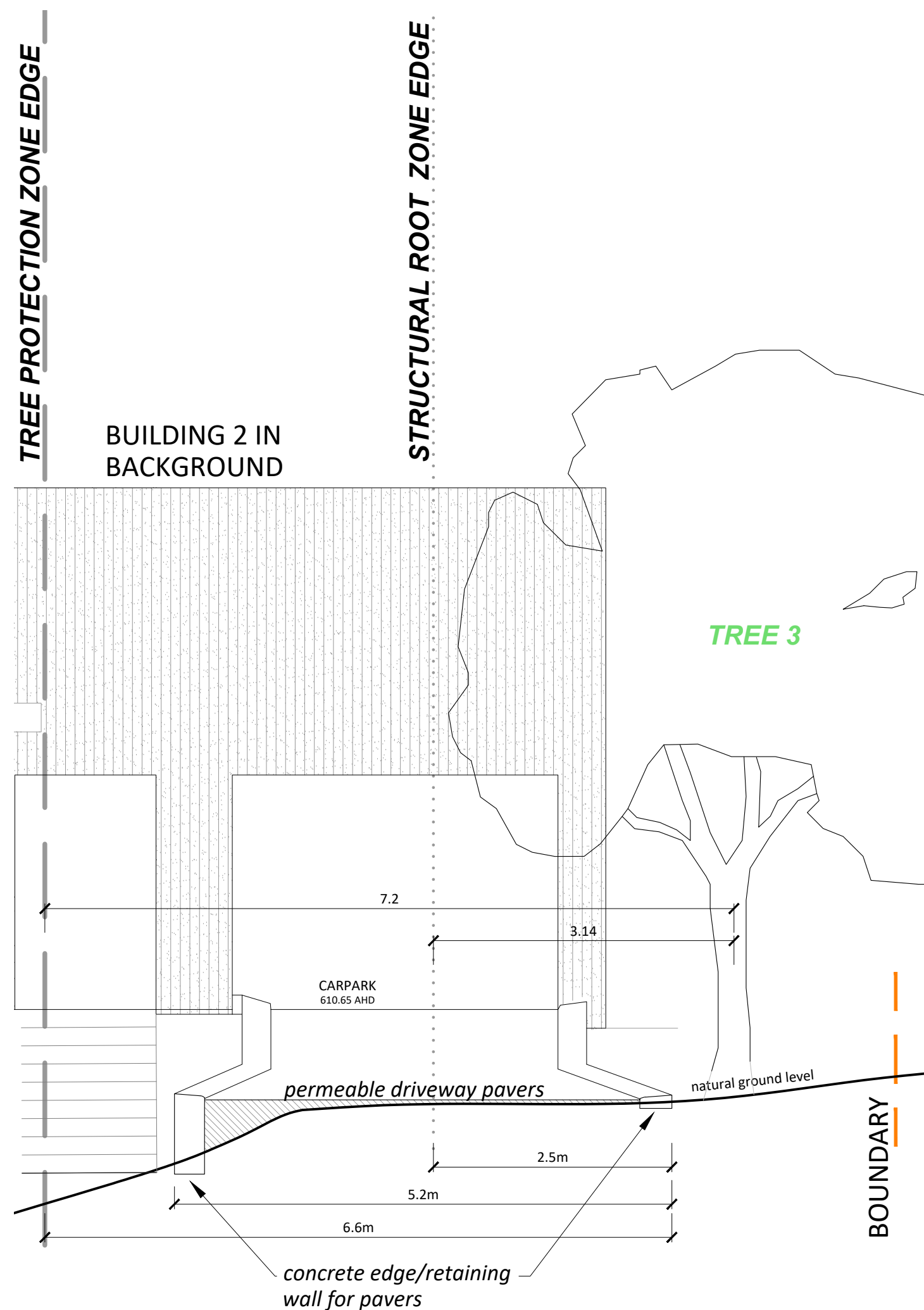


SECTION T2



TREE & LANDSCAPE NOTES:
Structural and tree protection zones as per
Arboricultural and Impact Assessment Report by
Tree Logic

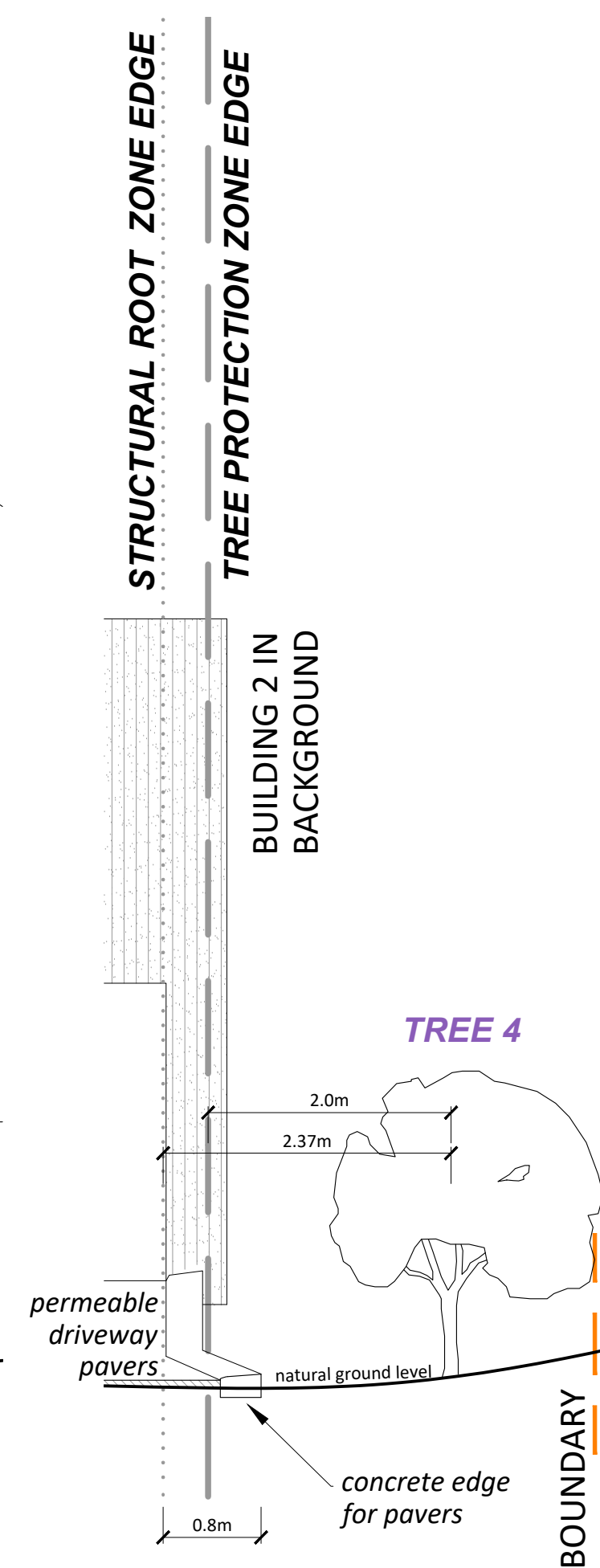
SECTION T3



notes: concrete edge for pavers to be
engineered; tree image indicates width
of canopy only

**TOWN PLANNING
ONLY**
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SECTION T4



Alterations & additions to building & new
buildings forming Group Accommodation.

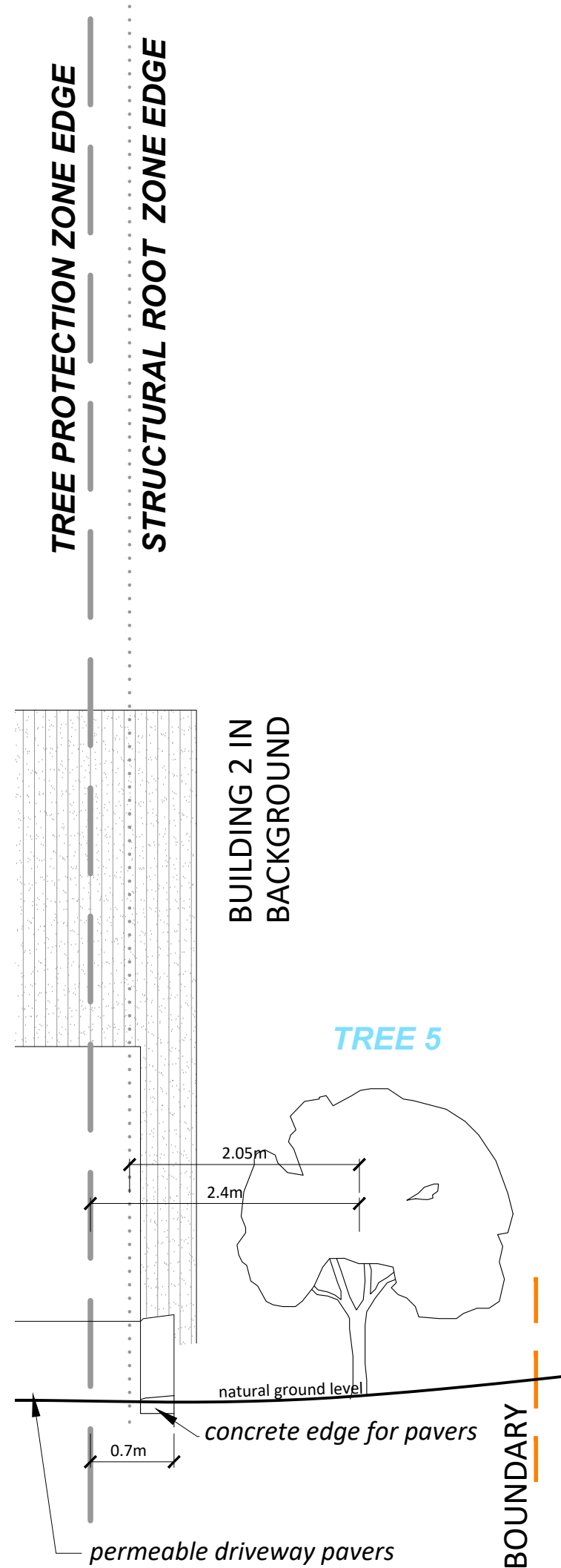
19A Camp St, Daylesford, VIC

A33 Prop. Site (Tree) Sections B

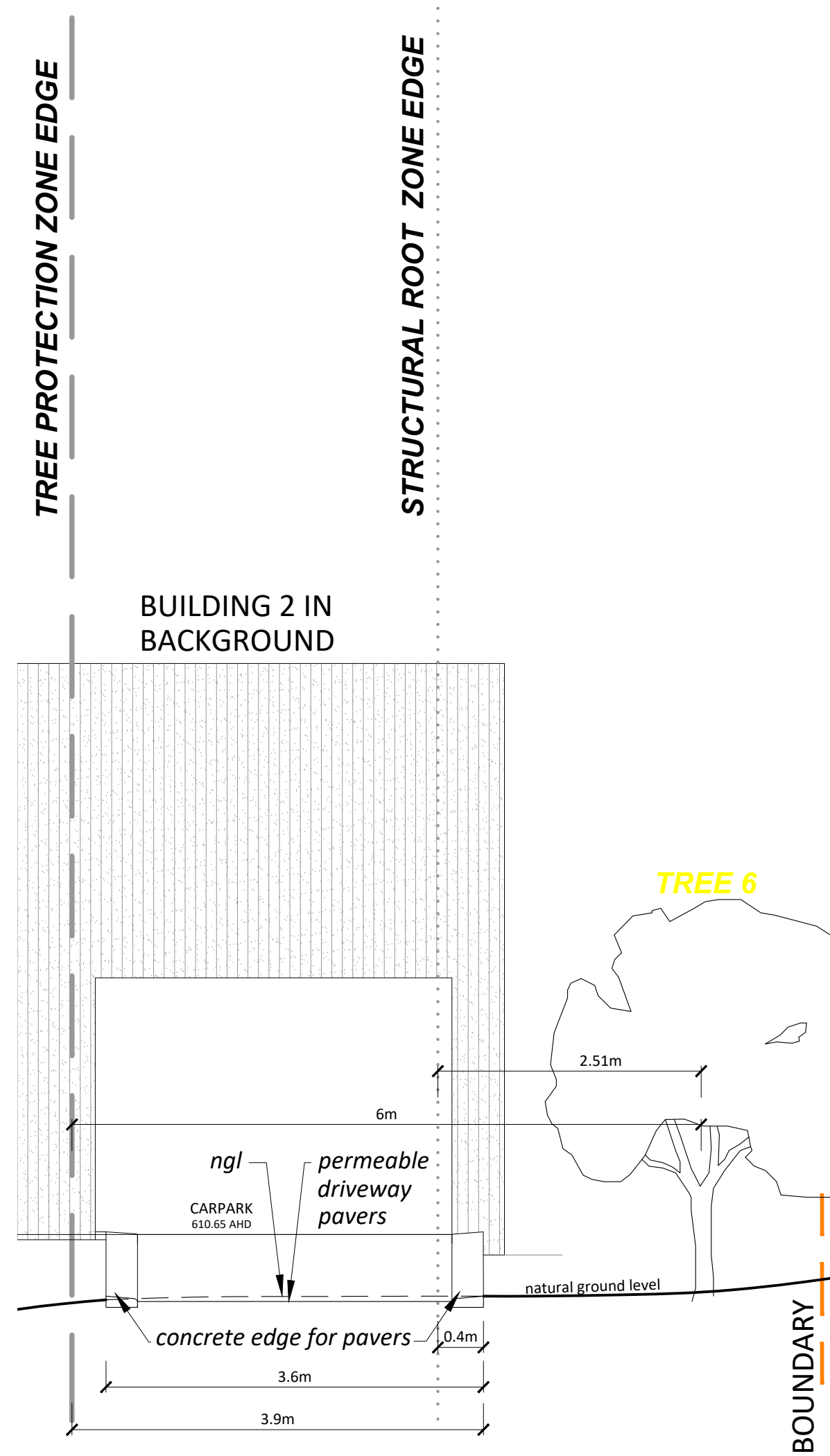
SCALE: 1:50 (SHEET SIZE A2) 16.11.23 REV B

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email: robin@treearc.com.au arbv reg no. 16800

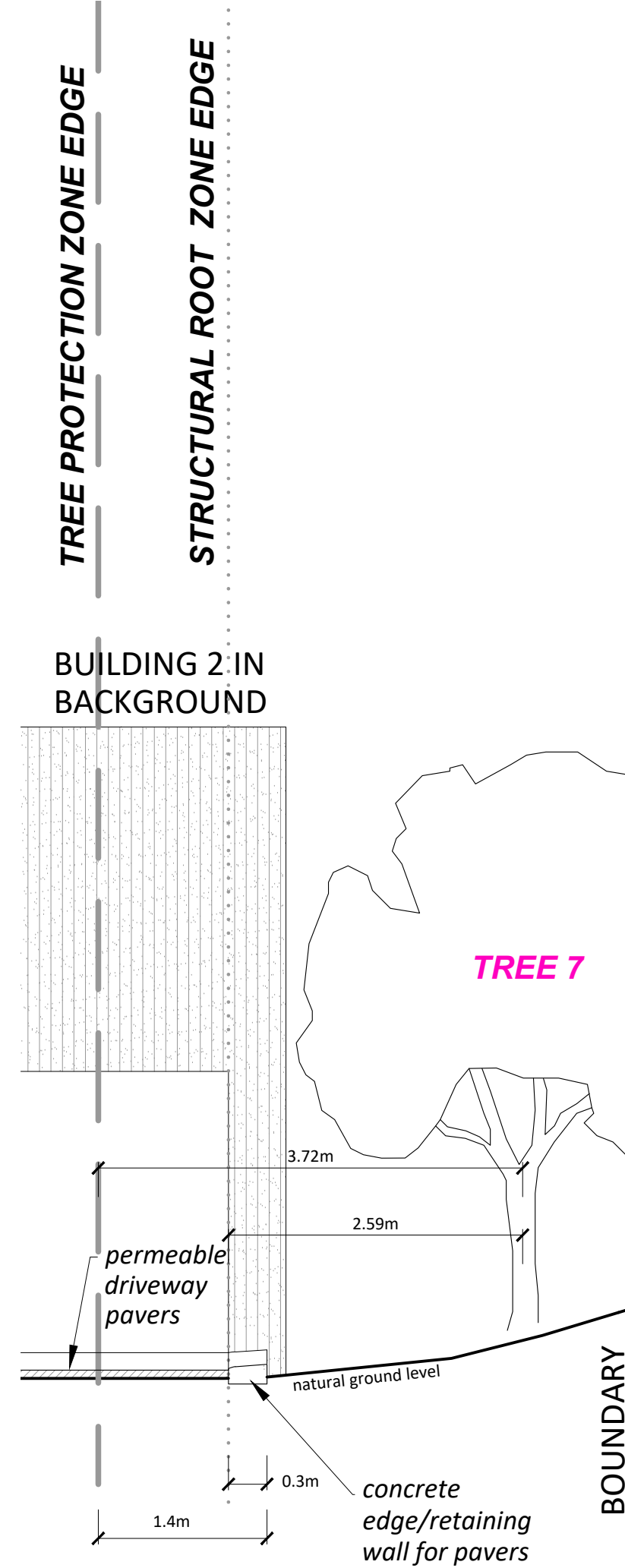
SECTION T5



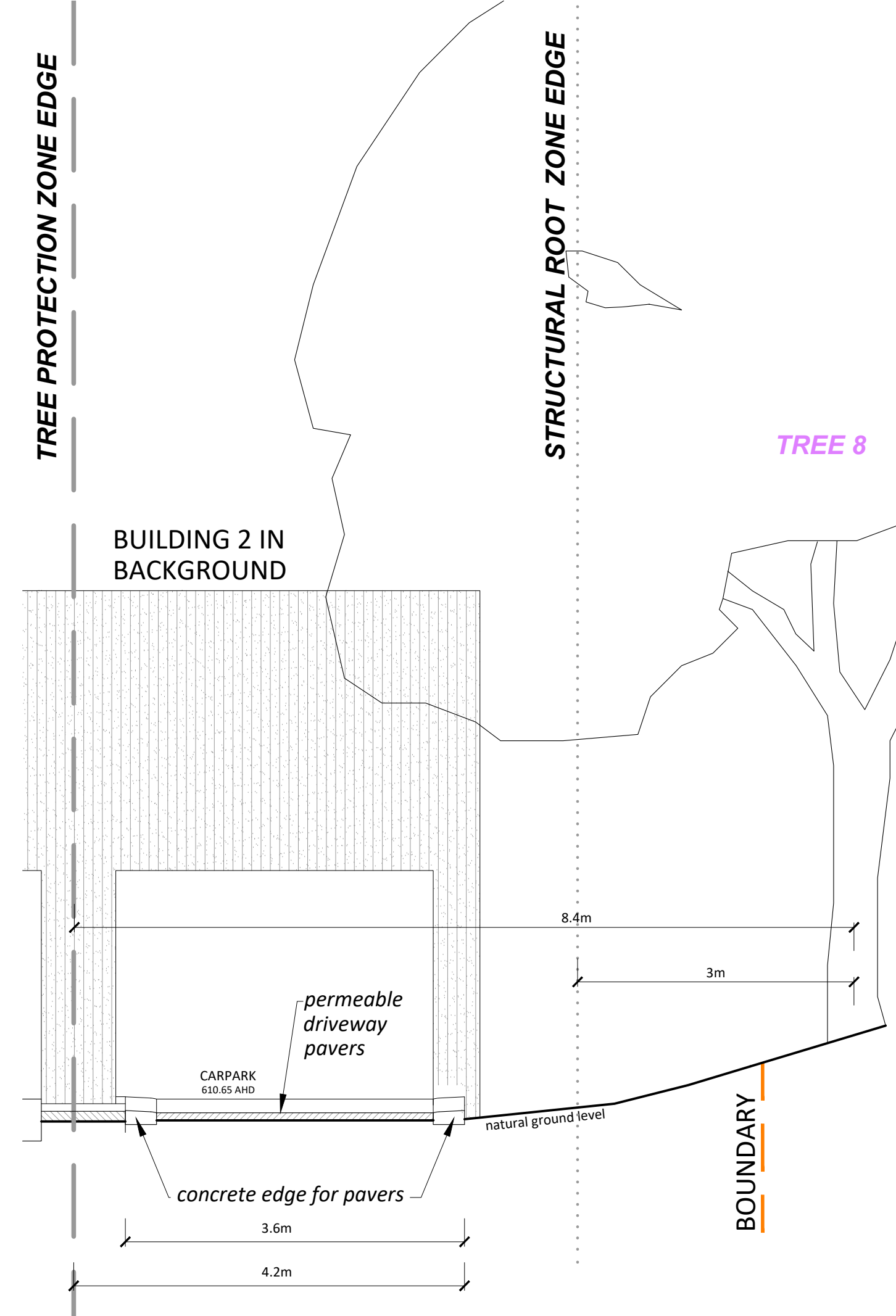
SECTION T6



SECTION T7



SECTION T8



TREE & LANDSCAPE NOTES:
Structural and tree protection zones as per
Arboricultural and Impact Assessment Report by
Tree Logic

notes: concrete edge for pavers to be
engineered; tree image indicates width
of canopy only

**TOWN PLANNING
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NOT FOR CONSTRUCTION

**Alterations & additions to building & new
buildings forming Group Accommodation.**

19A Camp St, Daylesford, VIC

A34 Prop. Site (Tree) Sections C

SCALE: 1:50 (SHEET SIZE A2) 16.11.23 REV B

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For:

**Tino Filippello - Main & Camp
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Authored by:

Chris Goss
Architect (ARBV)
BArch (UTAS), BEnvDes (UTAS)

Date:

24 October 2023



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Section:

i.

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Date Issued:

24 October 2023

Project No:

V23053

Revision:

-

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Camera Locations

Note: View Cones are a representation of camera locations & indicative view directions only

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Section:
**ii.
LOCATION MAP**

Date Issued:
24 October 2023

Project No:
V23053

Revision:
-



View 01 - Original Photograph @20mm

PHOTOGRAPH DETAILS

Location description:	Wombat Hill Gardens, top/highpoint of Wombat hill, West of reservoir at Gated cyclone Fencing
Date & time taken:	09:55am EST On 6/9/2023
Height from ground:	1.65m
Distance to size:	350m

EQUIPMENT SPECIFICATIONS

Camera:	Canon 5DSR Full Frame
Lens:	Sigma 20mm f 1 / 4 DG HSM Art Lens
Focal length:	20mm
Field of view (FOV):	84.0 deg (horizontal)



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Section:
**A01.01
PHOTOMONTAGE 01**

Date Issued:	24 October 2023
Project No:	V23053
Revision:	-



View 01 - Point Cloud Dataset Only

FIELD WORK DETAILS

Easting: 247555.81
Northing: 5863260.61
Date taken: 13/09/2023
Ground (RL): 667.51m
Height from ground: 1.65m

EQUIPMENT SPECIFICATIONS

LiDAR Scanner: Leica Cyclone Register 360
Software: Autodesk ReCap, CloudCompare

Note, this is not a photograph.
This is a 3D Point Cloud data scan
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the camera location which confirms
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Section:

**A01.02
PHOTOMONTAGE 01**

Date Issued:

24 October 2023

Project No:

V23053

Revision:

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View 01 - Photograph with Proposed Building Outlines

- Unoccluded silhouette of proposed built form (excludes vegetation)
- Silhouette of proposed built form that is occluded by existing built form (excludes vegetation)



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Section:
**A01.03
PHOTOMONTAGE 01**

Date Issued:
24 October 2023

Project No:
V23053

Revision:
-



View 01 - Proposed Built Form with Proposed Building Outlines

- Unoccluded silhouette of proposed built form (excludes vegetation)
- Silhouette of proposed built form that is occluded by existing built form (excludes vegetation)



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Section:
**A01.04
PHOTOMONTAGE 01**

Date Issued:
24 October 2023

Project No:
V23053

Revision:
-



View 02 - Original Photograph @20mm

PHOTOGRAPH DETAILS	
Location description:	Corner of Camp St & Central Springs Rd, on footpath at road shoulder,
Date & time taken:	03:22pm EST On 6/9/2023
Height from ground:	1.65m
Distance to site:	70m

EQUIPMENT SPECIFICATIONS	
Camera:	Canon 5DSR Full Frame
Lens:	Sigma 20mm f 1 / 4 DG HSM Art Lens
Focal length:	20mm
Field of view (FOV):	84.0 deg (horizontal)



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Section:

**A02.01
PHOTOMONTAGE 02**

Date Issued:

24 October 2023

Project No:

V23053

Revision:



View 02 - Point Cloud Dataset Only

FIELD WORK DETAILS

Easting: 247110.93
Northing: 5863164.77
Date taken: 13/09/2023
Ground (RL): 603m
Height from ground: 1.65m

EQUIPMENT SPECIFICATIONS

LiDAR Scanner: Leica Cyclone Register 360
Software: Autodesk ReCap, CloudCompare

Note, this is not a photograph.
This is a 3D Point Cloud data scan
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the camera location which confirms
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Section:
**A02.02
PHOTOMONTAGE 02**

Date Issued:
24 October 2023

Project No:
V23053

Revision:
-



View 02 - Photograph with Proposed Building Outlines

- Unoccluded silhouette of proposed built form (excludes vegetation)
- Silhouette of proposed built form that is occluded by existing built form (excludes vegetation)



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Section:

**A02.03
PHOTOMONTAGE 02**

Date Issued:

24 October 2023

Project No:

V23053

Revision:

-



View 02 - Proposed Built Form with Proposed Building Outlines

- Unoccluded silhouette of proposed built form (excludes vegetation)
- Silhouette of proposed built form that is occluded by existing built form (excludes vegetation)



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Section:
**A02.04
PHOTOMONTAGE 02**

Date Issued:
24 October 2023

Project No:
V23053

Revision:
-



E

95°

105°

115°

View 03 - Original Photograph @50mm

PHOTOGRAPH DETAILS

Location description:	71 Albert St (Midland Hwy) on nature strip, edge of crossover
Date & time taken:	03:42pm EST On 6/9/2023
Height from ground:	1.65m
Distance to site:	880m

EQUIPMENT SPECIFICATIONS

Camera:	Canon 5DSR Full Frame
Lens:	Sigma 50mm f 1 / 4 DG HSM Art Lens
Focal length:	50mm
Field of view (FOV):	39.6 deg (horizontal)



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Section:
**A03.01
PHOTOMONTAGE 03**

Date Issued:	24 October 2023
Project No:	V23053
Revision:	-



E

95°

105°

115°

View 03 - Point Cloud Dataset Only

FIELD WORK DETAILS

Easting: 246295.67
Northing: 5863495.74
Date taken: 13/09/2023
Ground (RL): 588.22m
Height from ground: 1.65m

EQUIPMENT SPECIFICATIONS

LiDAR Scanner: Leica Cyclone Register 360
Software: Autodesk ReCap, CloudCompare

Note, this is not a photograph.
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Section:

**A03.02
PHOTOMONTAGE 03**

Date Issued:

24 October 2023

Project No:

V23053

Revision:

-



E

95°

105°

115°

View 03 - Photograph with Proposed Building Outlines

- Unoccluded silhouette of proposed built form (excludes vegetation)
- Silhouette of proposed built form that is occluded by existing built form (excludes vegetation)



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Section:

**A03.03
PHOTOMONTAGE 03**

Date Issued:

24 October 2023

Project No:

V23053

Revision:



E

95°

105°

115°

View 03 - Proposed Built Form with Proposed Building Outlines

- Unoccluded silhouette of proposed built form (excludes vegetation)
- Silhouette of proposed built form that is occluded by existing built form (excludes vegetation)



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Section:

**A03.04
PHOTOMONTAGE 03**

Date Issued:

24 October 2023

Project No:

V23053

Revision:



View 04 - Original Photograph @20mm

PHOTOGRAPH DETAILS

Location description:	6 Camp ST, (Central Springs Inn) on Road shoulder / nature Strip
Date & time taken:	03:12pm EST On 6/9/2023
Height from ground:	1.65m
Distance to site:	240m

EQUIPMENT SPECIFICATIONS

Camera:	Canon 5DSR Full Frame
Lens:	Sigma 20mm f 1 / 4 DG HSM Art Lens
Focal length:	20mm
Field of view (FOV):	84.0 deg (horizontal)



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Section:

**A04.01
PHOTOMONTAGE 04**

Date Issued:	24 October 2023
Project No:	V23053
Revision:	-



View 04 - Point Cloud Dataset Only

FIELD WORK DETAILS

Easting: 247151.54
Northing: 5863499.66
Date taken: 13/09/2023
Ground (RL): 589.54m
Height from ground: 1.65m

EQUIPMENT SPECIFICATIONS

LiDAR Scanner: Leica Cyclone Register 360
Software: Autodesk ReCap, CloudCompare

Note, this is not a photograph.
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Section:
**A04.02
PHOTOMONTAGE 04**

Date Issued: 24 October 2023
Project No: V23053
Revision: -



View 04 - Photograph with Proposed Building Outlines

- Unoccluded silhouette of proposed built form (excludes vegetation)
- Silhouette of proposed built form that is occluded by existing built form (excludes vegetation)



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Site Address:
**19A Camp Street,
Daylesford
VIC 3460 Australia**

For:
**Tino Filippello - Main &
Camp Pty Ltd**

Section:
**A04.03
PHOTOMONTAGE 04**

Date Issued:
24 October 2023

Project No:
V23053

Revision:
-



View 04 - Proposed Built Form with Proposed Building Outlines

- Unoccluded silhouette of proposed built form (excludes vegetation)
- Silhouette of proposed built form that is occluded by existing built form (excludes vegetation)



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Site Address:
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Section:
**A04.04
PHOTOMONTAGE 04**

Date Issued:
24 October 2023

Project No:
V23053

Revision:
-

11 A DYNAMIC AND RESPONSIVE COUNCIL

11.1 APPROVAL OF INTERSTATE TRAVEL TO ATTEND THE NATIONAL GENERAL ASSEMBLY OF LOCAL GOVERNMENT 2024 CHIEF EXECUTIVE OFFICER

In providing this advice to Council as the Chief Executive Officer, I Bradley Thomas have no interests to disclose in this report.

ATTACHMENTS

1. Nil

EXECUTIVE SUMMARY

The purpose of this report is for Council to consider the approval of travel arrangements for the Mayor, Cr Brian Hood, and Chief Executive Officer Mr Bradley Thomas to attend the National General Assembly (NGA) of Local Government 2024, and 2024 Australian Council of Local Government (ACLG) (if held).

The purpose of the NGA is to build the profile of local government on the national stage and demonstrate to the Australian Government the strength and value of working with local government nationally. The event will be held 2-4 July 2024.

A date for the 2024 ACLG is currently unknown but in previous years has been held to coincide with the NGA. The annual forum will put leaders of local government and the Commonwealth in one room, allowing Ministers to directly hear about the issues impacting the local government sector, and was attended by the Mayor and CEO last year.

OFFICER'S RECOMMENDATION

That Council:

- 1. Approves the interstate travel for the Mayor Brian Hood and Chief Executive Officer to attend the National General Assembly of Local Government 2024 and 2024 Australian Council of Local Government; and,*
- 2. Requests the Mayor and the Chief Executive Officer to prepare a report regarding the conference for a future Ordinary Meeting of Council upon their return.*

BACKGROUND

The Mayor, Cr Brian Hood, and Chief Executive Officer Mr Bradley Thomas are proposing to travel to Canberra for the National General Assembly.

Under Council's Expenses and Resources Policy 2020, interstate travel by a councillor requires approval from Council.

The majority of councils will be represented at the event, some by the Mayor and CEO, others have multiple Councillors attending. Hepburn Shire has attended in recent years.

The purpose of the NGA and ACLG is to build the profile of local government on the national stage and demonstrate to the Australian Government the strength and value of working with local government nationally.

The theme of the 2024 event is 'Building Community Trust', centring on the critical importance of trust in governments, between governments, institutions, and citizens.

KEY ISSUES

Travel information

The following table shows the details of interstate travel undertaken in an official capacity by a Councillor or any member of Council staff for the period.

The total cost to Council includes all the costs of the travel including conference fees, flights, incidentals and accommodation costs.

Officer/Councillor	Cr Brian Hood (Mayor)
Destination	Canberra
Accompanying Staff	Bradley Thomas – Chief Executive Officer
Purpose and Benefits	<p>Council to engage directly with the Federal Government, to develop national policy, and to influence the future direction of our councils and our communities.</p> <p>A networking opportunity with other Local Government agencies.</p> <p>Enable Council to present and respond to questions regarding the Notice of Motion.</p>
Strategic Objectives	<p>A dynamic and responsive Council</p> <p>5.2 Actively communicate, inform and engage with our Community about events and decision-making</p> <p>5.3 A sustainable and agile organisation with strong corporate governance that supports excellent operations</p>
Costs	Approximately \$8,000 including airfare, airport transfer, accommodation, meals and conference attendance for both the Mayor and CEO.

Funding	Existing Council Budget
---------	-------------------------

POLICY AND STATUTORY IMPLICATIONS

Council Plan 2021-2025

A dynamic and responsive Council

5.3 A sustainable and agile organisation with strong corporate governance that supports excellent operations

Council Expenses and Resources Policy

6.3 Procedure for applying for interstate and international travel

a) Councillors seeking to travel interstate or internationally must first provide a report to the Mayor and CEO outlining their proposal. The report must contain the following elements:

- *State the travel location, reason for travel and period of travel*
- *Provide details of the travel including any external funding*
- *The objectives of the travel together with the potential benefits to the Hepburn Shire Council and its stakeholders*
- *Accompanying staff and their role*
- *Identify the relationship between the proposed travel and the Strategic Objectives in the Council Plan and any other Council policy, strategy or program.*

b) Provide the estimated cost including

- *Airfares, including class of travel, accommodation, fees and other expenses such as day to day incidental costs;*
- *The cost associated with any accompanying Council staff member*
- *A statement confirming that the costs relating to the proposed travel will be met from an existing budget allocation*
- *Contain a recommendation to Council to approve the proposal.*
- *Assessment of each application will be made on the merits of the proposal and the alignment of the request with the Council Plan or other interests of the Hepburn Shire Council.*
- *Councillors seeking to travel internationally must prepare and present a report to an Ordinary Meeting of Council which contains the elements outlined above.*

c) Where the proposal is supported by Council it will be approved and:

- *Nominate the Councillor(s) to undertake the travel*
- *Recommend an amount to cover the travel costs relating to airfare, accommodation, fees, expenses and incidentals*
- *Identify a maximum estimated amount for "incidentals" covering costs not pre-paid by Council*

- *Note that the Councillor/ member of delegated committee will prepare a post travel report within 14 days of their return from approved travel.*

d) Any proposal in relation to overseas travel to be undertaken by the Mayor will follow the same format. During the consideration of any travel proposal relating to the Mayor, the Deputy Mayor or other Councillor will take the Chair.

e) Councillors shall await the decision of the Mayor and CEO for interstate travel, or Council for international travel, which will be evidenced in writing, prior to making any bookings or incurring any costs associated with the proposed travel arrangement.

GOVERNANCE ISSUES

The implications of this report have been assessed in accordance with the requirements of the Victorian Charter of Human Rights and Responsibilities.

SUSTAINABILITY IMPLICATIONS

There are no sustainability implications associated with this report.

FINANCIAL IMPLICATIONS

Council will cover the full cost of travel as there is no external funding available, the estimated costs are \$8,000. **Please note these are an estimate of costs for Mayor and CEO, subject to change upon booking confirmation.*

RISK IMPLICATIONS

There are no risk implications associated with this report.

COMMUNITY AND STAKEHOLDER ENGAGEMENT

There are no direct community or stakeholder engagement implications associated with this report.

11.2 RECOMMENDATIONS FROM THE AUDIT AND RISK COMMITTEE MEETING HELD ON 11 DECEMBER 2023 AND APPOINTMENT OF THE CHAIR DIRECTOR COMMUNITY AND CORPORATE

In providing this advice to Council as the Manager Governance and Risk, I Rebecca Smith have no interests to disclose in this report.

ATTACHMENTS

1. CONFIDENTIAL REDACTED - Chair's covernote - December 2023 [11.2.1 - 4 pages]
2. CONFIDENTIAL REDACTED - Confidential Minutes - Audit and Risk Committee - 11 December 2023 [11.2.2 - 31 pages]

OFFICER'S RECOMMENDATION

That Council:

1. *Receives the draft minutes of the Audit and Risk Committee Meeting that was held on the 11 September 2023;*
2. *Notes the recommendations of the Audit and Risk Committee that were moved at the meeting on 11 September 2023; and,*
3. *Confirms the appointment of Mr Shane Marr as Chair of the Audit and Risk Committee for 2024.*

EXECUTIVE SUMMARY

The purpose of this report is for Council to consider advice from the Audit and Risk Committee (ARC) meeting that was held on 11 December 2023, including the recommendation for a Chair for 2024.

BACKGROUND

The purpose of the Audit and Risk Committee is to oversee and monitor the effectiveness of Council in carrying out its responsibilities for accountable financial management and risk, good corporate governance, provide experience in public sector management, and the maintenance of systems of internal control, and the fostering of an ethical environment.

The Audit and Risk Committee is not a delegated committee and cannot exercise statutory functions and powers of the Council under delegation, and essentially acts as an advisory body on behalf of Council.

The Audit and Risk Committee meetings are closed to the public.

KEY ISSUES

The Audit and Risk Committee held its quarterly meeting on 11 December 2023. The Confidential Minutes of the meeting are attached for Councillors' consideration, along with the cover note from the Chair.

At this meeting, the Committee also recommended that Council appoints Mr Shane Marr as the Chair of the Committee for 2024.

POLICY AND STATUTORY IMPLICATIONS

Council Plan 2021-2025

A dynamic and responsive Council

5.3 A sustainable and agile organisation with strong corporate governance that supports excellent operations

Local Government Act 2020

The Audit and Risk Committee is governed by section 53 of the *Local Government Act 2020*, and operates in line with the Audit and Risk Committee Charter. A Workplan is developed to align with their obligations.

GOVERNANCE ISSUES

The Audit and Risk Committee was established by Council resolution on 28 August 2020 in line with section 53 of the *Local Government Act 2020*.

The Committee is made up of four independent committee members – Mr Shane Marr (Chair), Dr Jason Young, Ms Philippa Murphy and Mr Kelvin Tori.

The Councillor delegates of the Committee are Cr Brian Hood (Mayor) and Cr Juliet Simpson.

SUSTAINABILITY IMPLICATIONS

There are no sustainability implications associated with this report.

FINANCIAL IMPLICATIONS

There are no financial implications associated with this report.

RISK IMPLICATIONS

There are no major risk implications associated with this report.

The Audit and Risk Committee were duly briefed on all reports and a robust discussion was had. Should Council disagree with any recommendations that the Audit and Risk Committee present for its consideration, then Council will need to, via a resolution of Council and in line with Council's good governance framework, state which motions Council do not accept.

If officers do not present this report to Council at the next practicable Council meeting for consideration, then there will be a breach of the Audit and Risk Committee Charter.

COMMUNITY AND STAKEHOLDER ENGAGEMENT

There are no community or stakeholder engagement implications associated with this report. The Audit and Risk Committee, and representatives from Council's external and internal auditors respectively have been engaged and consulted on reports that relate to their function and duty to Council.

All members of the Audit and Risk Committee were presented with agenda papers and were all present at the Meeting.

11.3 ANNUAL PLAN 2023/2024 - QUARTER 2 PROGRESS REPORT EXECUTIVE MANAGER PEOPLE AND TRANSFORMATION

In providing this advice to Council as the Executive Manager People and Transformation, I Brooke Holmes have no interests to disclose in this report.

ATTACHMENTS

1. Annual Plan 2023/2024 Q2 Progress Report [**11.3.1** - 29 pages]

EXECUTIVE SUMMARY

The attached report provides an update on the progress against projects and initiatives included in the Annual Plan 2023/2024 for the second quarter period. The report shows that of the 41 projects listed for 2023/2024, 23 have commenced and are on track, ten with progress delayed, four have been completed, four cancelled (or subsumed in a more current action).

Officers recommend the amendment of completion dates for a number of initiatives in the Annual Plan, to accommodate significant workload and changing priority challenges.

OFFICER'S RECOMMENDATION

That Council notes the Annual Plan 2023/2024 Quarter Two Progress Report and makes it available to the community on Council's website.

BACKGROUND

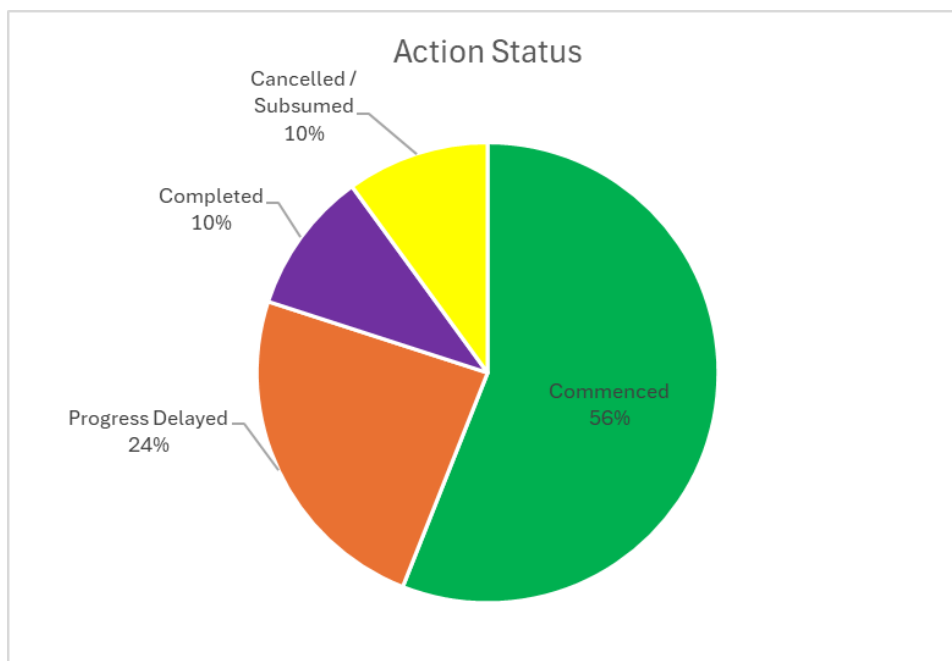
Council's Annual Plan outlines the actions for 2023/2024 that will be implemented as priorities from the Council Plan 2021-2025 and Annual Budget 2023/2024. The current Annual Plan was adopted by Council at its Ordinary Meeting on 15 August 2023.

The Annual Plan 2023/2024 details the initiatives or actions we will deliver to achieve the strategies in the Council Plan, and once published the quarterly report updates our stakeholders on the progress of those actions.

KEY ISSUES

The attached report provides a list of the projects included in the Annual Plan 2023/2024 and a progress comment has been provided for each project by the responsible officer, for the second quarter (October – December) period of the 2023/2024 financial year.

The following graph provides a snapshot of the status of projects as of 30 December 2024.



It also reports that of the seven 2022/2023 carry-forward projects, four have been incorporated into this year's annual plan projects, marked above as 'cancelled' and where appropriate the new project has been identified in the comments section.

Officers recommend the amendment of completion dates for the following:

- AP 24.1 Climate Change Policy (28/06/2024)
 - o Draft Policy for adoption - 17/09/2024
- AP 24.15 Development of the Reconciliation Action Plan (30/06/2024)
 - o Draft RAP for Council consideration – 17/09/2024
- AP23.3 Employer Value Proposition (01/03/2023)
 - o Revised due date 30/06/2024
- AP 24.33 Staff Accommodation and Community Facilities (31/03/2024)
 - o Concept adopted by Council – 17/09/2024

COUNCIL POLICY AND LEGISLATIVE IMPLICATIONS

Council Plan 2021-2025

5. A dynamic and responsive Council

5.2 A sustainable and agile organisation with strong corporate governance that supports excellent operations.

5.3 Actively communicate, inform and engage with our community about events and decision-making.

FINANCIAL IMPLICATIONS

All Annual Plan 2023/2024 projects and initiatives have been budgeted for in this current financial year.

COMMUNITY AND STAKEHOLDER ENGAGEMENT

There are no community or stakeholder engagement implications associated with this report.

RISK AND GOVERNANCE IMPLICATIONS

The Local Government (Planning and Reporting) Regulations 2020 support the operation of the strategic planning and reporting requirements under the *Local Government Act 2020*, by prescribing information to be contained in council budgets and revised budgets, financial plans, and annual reports, as well as mandating for councils the system of performance reporting. Annual plan progress reports form part of the Council Plan reporting requirements.

ENVIRONMENTAL SUSTAINABILITY

There are no environmentally sustainability impacts associated with this report, however projects and initiatives have been individually assessed for sustainability as part of the budgetary process. The ongoing delivery of these projects any further impacts will be managed at a project management level.

GENDER IMPACT ASSESSMENT

Projects and initiatives have been assessed individually for gender impacts as part of the budgetary process. Any further implications because of delays or cancellations will be assessed at a project management level where further details can be obtained.

2023/24 Annual Plan



Progress Report – Q2

Hepburn Shire - an inclusive rural community located in Dja Dja Wurrung country where all people are valued, partnerships are fostered, environment is protected, diversity supported, and innovation embraced.

Our five focus areas:



STATUS



On Track



Progress
Delayed



Completed



Not Started





Cancelled

Other Plans and Strategies

All other Council Plans and Strategies

A resilient, sustainable and protected environment

A responsive, adaptive, and resilient community that addresses climate change and biodiversity.

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP23.1	1.1	Adapt to and mitigate climate change to reach net-zero community emissions by 2030	Vehicle Charging Stations: Partner with Hepburn Energy and Chargefox to install three electric charging stations in Creswick, Hepburn Springs and Trentham.	Operations	01/01/2023	Creswick and Hepburn Springs charging stations installed. Trentham charging station procured with site design completed. To be installed in line with the completion of the Trentham Hub project.	
AP24.1	1.1	Adapt to and mitigate climate change to reach net-zero community emissions by 2030	Hepburn Shire Council Sustainability and Climate Change Policy: Adopt a Hepburn Sustainability and Climate Change Emergency policy and commence embedding this into Councils operations and decision-making processes.	Operations	28/06/2024	Initial scope completed major components such as procurement and aligning with strategic planning work underway. Request for quote for consultant scheduled for March.	

STATUS



On Track

Progress
Delayed



Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.2	1.5	Protect and regenerate the natural resources of the Shire including soils, water and ecological systems, from both current and future threats	Let's Rethink Waste - FOGO Collection Service: Rollout of a new Food Organics and Garden Organics (FOGO) bin collection service across the townships in the Shire with a goal to reduce landfill and create opportunities for resource recovery and re-use.	Operations	30/04/2024	Kerbside collection contract variation to accommodate the food and garden kerbside collection awarded at the Ordinary December Council Meeting. Transfer station upgrade works for Food and Garden Organics scheduled mid-January for completion in late February. Food and Garden Organics bin purchase and delivery contract awarded with delivery scheduled for mid-March. Educational videos for community in final draft expected release mid-January.	
AP24.3	1.5	Protect and regenerate the natural resources of the Shire including soils, water and ecological systems, from both current and future threats	Sustainable Hepburn Community Advisory Committee: Create a Sustainable Hepburn Community Advisory Committee to assist community support, involvement and partnership towards a sustainable Hepburn.	Operations	28/02/2024	Sustainable Hepburn Community Advisory Committee adopted in the Ordinary October 2023 Council Meeting with the first meeting completed 30 November 2023.	

STATUS

On Track

Progress
Delayed

Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.4	1.5	Protect and regenerate the natural resources of the Shire including soils, water and ecological systems, from both current and future threats	Roadside Conservation: Continue environmental services with an increased focus on weed management and roadside vegetation management including development and implementation of a Roadside Conservation Strategy.	Operations	28/06/2024	Council continues to manage municipal roadsides environmentally including monitoring general vegetation and attending to weeds as resources permit. Officers are currently preparing an updated Roadside Conservation Strategy which will guide Council and the broader community in this space.	

STATUS

On Track

Progress
Delayed

Completed



Not Started



Cancelled

A healthy, supported and empowered community

A community that values connection, supports diversity, health, and wellbeing, and is inclusive of all people and their needs

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP23.10	2.3	Optimise the use of public spaces to increase participation and community connection	Walking and Cycling Strategy: Develop and adopt a Walking and Cycling Strategy.	Economic Development and Recreation	01/06/2023	Action has now been incorporated into the AP24.19 Action - Shire Wide Integrated Transport Strategy.	
AP24.5	2.1	Support appropriate land use and accommodate more affordable long-term housing within townships that conforms with the character of the area.	Review of Short Term Accommodation: Review possible regulation of short-term rental accommodation to assist with permanent rental housing supply, while still allowing for a diverse and sustainable base of tourist accommodation to support the local economy.	Strategic Planning	30/06/2024	The Victorian Government's announcement of a Short Stay Levy in 2024 together with its proposed restrictions on local regulations, clashes with this Strategy Action. The possible impacts of the Levy on affordable housing and tourism in the Shire are being reviewed, together with an advocacy approach to ensure that there is an equitable distribution of funding allocated to regional Victoria.	

STATUS



On Track

Progress
Delayed



Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.6	2.2	Increase the availability and accessibility of services in the Hepburn Shire area to support liveability, health, and wellbeing	Advocating for Improved Health Services: Council will advocate for access to high quality health services across the Shire, including early years program and through the upgrade of Daylesford Hospital.	Economic Development and Recreation	30/06/2024	Stakeholder participation in the Community Support and Services Network and the Early Years Network has increased over the last quarter to understand local service needs, provision and gaps. The Memorandum of Understanding with Central Highlands Rural Health continues to build collaborative approaches to program delivery and health promotion messaging.	
AP24.7	2.2	Increase the availability and accessibility of services in the Hepburn Shire area to support liveability, health, and wellbeing	Best Start, Best Life - Kinder Infrastructure and Workforce Planning: Deliver the Best Start, Best Life program funded by the Victorian Government. This will involve an audit and analysis of the all Kindergarten facilities and early years workforce needs across the region into the future.	Economic Development and Recreation	30/06/2024	Quotes have been received for contractor services and assessment panel will be formed next quarter to determine successful contractor. Early Years survey closed and officers are collating hard copy responses from families so the full data can be analysed to inform the Kinder Infrastructure and Workforce Development Plans.	

STATUS

On Track

Progress
Delayed



Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.8	2.2	Increase the availability and accessibility of services in the Hepburn Shire area to support liveability, health, and wellbeing	Storm Rectification and Road Repair Works: Continuation of Hepburn Shire's ongoing Storm Rectification Works program that includes the ongoing repair of sealed roads damaged by floods.	Emergency Management	30/06/2024	Council flood and storm repair works are ongoing, with staff, agencies, and contractors working to ensure all damaged roads and assets are restored and made safe. 223 of the 269 roads and shoulders impacted between the October 2022 floods and the June 2023 storm have been repaired, at an estimated cost of \$6.5 million.	
AP24.9	2.2	Increase the availability and accessibility of services in the Hepburn Shire area to support liveability, health, and wellbeing	Dusk to Dawn Cat Curfew Rollout: Implement and enforce a cat curfew (effective from 1 July 2023) from dusk to dawn as part of the Domestic Animal Management Plan 2021-2025.	Waste, Facilities and Community Safety	30/09/2023	Enforcement of the cat curfew continues, but is reactive only due to resource challenges. A key challenge is the availability of a nearby and reliable pound. We have recently been informed that Ballarat is currently not accepting any additional cats.	

STATUS

On Track

Progress
Delayed


Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.10	2.2	Increase the availability and accessibility of services in the Hepburn Shire area to support liveability, health, and wellbeing	Community Recovery Hub: Deliver community recovery and resilience activities across Hepburn Shire building resilience of community members to respond to and recover from emergency risks in the Shire.	Emergency Management	30/06/2024	Senior Community Recovery Officer commenced on 30 August 2023, and scoping and co-design of recovery and resilience activities and initiatives for communities in Hepburn impacted by emergencies has begun. Delivered under Emergency Recovery Victoria's Community Recovery Hub grant program, recovery and resilience projects will be delivered in partnership with community and neighboring Councils.	

STATUS

On Track

Progress
Delayed

Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.11	2.3	Optimise the use of public spaces to increase participation and community connection	Central Springs Mineral Reserve, Daylesford - Stage One Development: Enhance the visitor experience of our Mineral Springs by delivering accessibility and water quality improvements at Central Springs Mineral Reserve at Lake Daylesford.	Operations	30/06/2024	Council have awarded a construction contract to Naturform Pty Ltd at the December Ordinary Meeting of Council. Construction works include, but not limited to mineral springs bore improvements, shelter construction and landscaping works in accordance with the adopted master plan. Works are schedule to commence in January 2024 with the project expected to take 6 months to complete and finished in July 2024.	

STATUS

On Track

Progress
Delayed

Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.12	2.3	Optimise the use of public spaces to increase participation and community connection	Recreation Masterplans for Clunes and Glenlyon: Prepare detailed designs for Clunes Recreation Reserve Masterplan and Glenlyon Recreation Reserve Masterplan, including detailed designs on the new Glenlyon Pavilion.	Economic Development and Recreation	31/03/2024	Community engagement on the draft Queens and Pioneer Park Masterplans completed and will progress to Council for consideration of adoption next quarter. The Clunes Community Project Advisory Group has been established and two meetings convened in November and December 2023. A consultant was engaged to undertake flood modelling work which will inform the final pavilion location, Glenlyon Recreation Reserve Masterplan and pavilion design.	
AP24.13	2.3	Optimise the use of public spaces to increase participation and community connection	Aquatics Business Case Development: Finalise a business case on aquatics provision within the Shire, as informed by the 2022 Hepburn Shire Aquatics Strategy.	Economic Development and Recreation	31/12/2023	Reporting to Council on the draft Indoor Aquatics Provision Final Options and Feasibility Discussion Report was undertaken. Additional structural auditing of existing pool shells required to inform further consideration by Council on the final options and feasibility report anticipated April/May 2024.	

STATUS

On Track

Progress
Delayed

Completed





Not Started



Cancelled

Embracing our past and planning for the future

We acknowledge and empower the Traditional Owners and other cultures of our area to protect our historical roots while planning for future generations.

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP23.13	3.1	Partner with and empower our Traditional Owners and broader community to acknowledge, understand, celebrate, and preserve our area's cultures, traditions, and environs	COVID Stimulus Infrastructure Projects: Continue to deliver key stimulus funded projects including, Bullarto Station Tourist Precinct, Creswick Town Hall and Wombat Hill Botanical Gardens	Projects	01/06/2023	Covid stimulus Infrastructure Project works at Creswick Town Hall and the Wombat Hill Botanic Gardens have been completed. Works at Bullarto Station are nearing completion with an expected completion date of December 2023.	
AP23.14	3.1	Partner with and empower our Traditional Owners and broader community to acknowledge, understand, celebrate, and preserve our area's cultures, traditions, and environs	Reconciliation Action Plan: Develop and adopt a Reconciliation Action Plan.	Culture and Performance	01/12/2022	This action has been transferred to an action in the 2023/24 Annual Plan (AP24.15 Innovate Reconciliation Action Plan).	

STATUS



On Track

Progress
Delayed



Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP23.16	3.2	Protect and enhance the existing character of our towns and rural settings through community-inclusive strategic planning to strengthen planning controls on growth and development	Strategic Planning Work Program: Implement year 2 of council program of strategic planning work to be delivered in accordance with financial budget allocations, including continued work on Creswick Structure Plan and commencement of Trentham Structure Plan.		01/06/2023	Action is now being delivered as part of the Future Hepburn (AP24.16). we have completed second phase of community engagement and will be preparing over the next months to put draft township structure plans (Trentham, Glenlyon, Daylesford/Hepburn, Clunes & Creswick) to community for comment in March/April 2024.	
AP24.14	3.1	Partner with and empower our Traditional Owners and broader community to acknowledge, understand, celebrate, and preserve our area's cultures, traditions, and environs	Arts and Culture Strategy: Finalise and adopt an Arts and Culture Strategy that provides support to local artists who enrich community wellbeing by providing cultural experiences.	Economic Development and Recreation	31/12/2023	Council officers have worked with Djaara to integrate their feedback into a draft Arts and Culture Strategy which is anticipated to be presented to Council's Executive Team and Councillors next quarter, seeking endorsement to release for public exhibition.	

STATUS

On Track

Progress
Delayed


Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.15	3.1	Partner with and empower our Traditional Owners and broader community to acknowledge, understand, celebrate, and preserve our area's cultures, traditions, and environs	Innovate Reconciliation Action Plan: Develop and adopt a new Reconciliation Action Plan to ensure an inclusive community, reduce racial discrimination, identify and acknowledge issues requiring actions of reconciliation.	Culture and Performance	30/06/2024	<p>Council has worked towards creating a new Internal advisory body to assist with the development of the new Reconciliation Action Plan Innovate. This body will work in collaboration with the external Reconciliation Advisory committee and DJAARA corporation.</p> <p>The due date for developing the draft and presenting to Council is proposed to be extended to September. This allows for the organisation and Councillors to focus on the large strategic pieces which are due pre-EOFY (LTFP, Strategic Planning) and ensure that the RAP is well considered and developed.</p>	

STATUS

On Track

Progress
Delayed



Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.16	3.2	Protect and enhance the existing character of our towns and rural settings through community-inclusive strategic planning to strengthen planning controls on growth and development	Future Hepburn: Continuation of Hepburn's key strategic planning program through the development of town structure plans, agricultural land and rural settlement strategy, integrated transport strategy and other supporting technical studies.		30/06/2024	We are on track to have the draft structure plans out for community consultation in March 2024. we have completed deliberative consultation with the community & are now expecting draft structure plans for first internal review Dec/Jan. Our Rural Strategy will be drafted and out for public comment in Feb/Mar 2024.	
AP24.17	3.3	Build and maintain quality infrastructure that supports and promotes liveability and active living in the community	Daylesford Town Hall Restoration Stage 1: Award tender for the delivery of priority structural and electrical repair works to the Daylesford Town Hall to conserve our important heritage asset.	Operations	30/06/2024	Switch board repairs completed. Tender for conservation architect to be released early January 2024 with full package completed early 2024. Construction tender and award slated for mid - 2024 with construction works to start September 2024.	

STATUS

On Track

Progress
Delayed



Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.18	3.3	Build and maintain quality infrastructure that supports and promotes liveability and active living in the community	Creswick Trails Construction: Achieve construction delivery milestones to enable the 60km of trails to be completed in December 2024.	Projects	30/06/2024	With a construction contract awarded in January 2023, progress is well underway on the construction of the Creswick Trails with approximately half of the trails complete.	
AP24.19	3.3	Build and maintain quality infrastructure that supports and promotes liveability and active living in the community	Shire Wide Integrated Transport Strategy: Adopt a 10-year integrated transport strategy for improved connections for the community through the various modes of transport including active transport such as walking and cycling.		31/05/2024	Council has awarded the tender to Movement & Place who are undertaking a Shire wide Intergrated Transport Strategy and specific township transport analysis for each structure plan. Public survey has closed & we are now in the process of preparing the draft strategy - planned for public consultation in early 2024.	

STATUS

On Track

Progress
Delayed



Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.20	3.3	Build and maintain quality infrastructure that supports and promotes liveability and active living in the community	Completion of Trentham Hub Construction : Complete construction and open the new Trentham Community Hub for the community.	Projects	31/03/2024	Following successful tender award, construction works are progressing steadily on the Trentham Community Hub. Structural works including wall and roof framing are complete with cladding and sheeting works currently in progress with an expected completion date of March 2024.	
AP24.21	3.3	Build and maintain quality infrastructure that supports and promotes liveability and active living in the community	Historic Wheelers Bridge in Lawrence: With financial assistance from the Australian Government, begin construction on the historic Wheelers Bridge in Lawrence.	Operations	31/03/2024	Design work for the project is in the final stages with the detailed structural design work the final element to complete. Upon completion of the design work, the project is scheduled to be tendered in March 2024 with an anticipated construction commencement date in mid-2024.	

STATUS

On Track

Progress
Delayed

Completed




Not Started



Cancelled

Diverse economy and opportunities

Our community is enhanced by a diverse and resilient economy that supports local aspirations through opportunity.

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.22	4.1	Work in partnership to attract and retain young people in our area through the provision of improved digital connectivity, education opportunities, employment pathways, affordable housing, improved public and active transport options, and leadership opportunities	Hepburn Shire Young Mayors Program: Provide leadership and development opportunities for young people to increase youth advocacy and leadership by delivering the trial Young Mayors Program through peer led election of Youth Council Members.	Economic Development and Recreation	30/06/2024	New Young Mayors Officer position was advertised by Foundation for Young Australians and planning has begun for the launch of the program anticipated in March 2024.	

STATUS



On Track

Progress
Delayed


Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.23	4.3	Support and facilitate a diverse and innovative local economy that encourages an increase of local businesses with diverse offerings to achieve positive social, economic and environmental impacts	Enhancing Hepburn's Digital Planning and Reporting Capability: With the financial assistance from the Victorian Government, deliver digital enhancements to modernise Council's planning services and improve the customer experience.	Planning and Building	30/06/2024	Funding has been obtained and a dedicated resource has been hired to advance this project. The scope, objectives and measures have been set.	

STATUS

On Track

Progress
Delayed


Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.24	4.3	Support and facilitate a diverse and innovative local economy that encourages an increase of local businesses with diverse offerings to achieve positive social, economic and environmental impacts	Destination Management Planning: Work with our tourism partners, Daylesford Macedon Tourism and Tourism Midwest Victoria to develop Destination Management Plans to support the Shire's visitor economy and provide foundations for sustainable growth which balances economic priorities with social, environmental and cultural factors in the region.	Economic Development and Recreation	30/04/2024	Daylesford Macedon Tourism finalised their Destination Management Plan and Local Area Action Plan for Hepburn Shire in late December. It is anticipated to be operational in February 2024 after a final review by Council's executive team and informing the council plan. Engagement continued on the development of a Destination Management Plan for Tourism Midwest Victoria, which covers the west of Hepburn Shire, including initial drafting of key themes and pillars arising from the engagement.	

STATUS

On Track

Progress
Delayed



Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.25	4.3	Support and facilitate a diverse and innovative local economy that encourages an increase of local businesses with diverse offerings to achieve positive social, economic and environmental impacts	Mineral Springs Awareness Campaign: Through funding from the Victorian Government, develop marketing tools to raise the awareness and understanding of Mineral Springs in the region for locals and visitors.	Economic Development and Recreation	30/06/2024	Project briefs have been drafted to seek consultants to design maps of mineral springs in Victoria and a separate brief to create collateral (videography and images) of Springs around the state. This collateral will feed into a web page for mineral springs in Victoria and also physical displays in visitor information centres around the State.	
AP24.26	4.3	Support and facilitate a diverse and innovative local economy that encourages an increase of local businesses with diverse offerings to achieve positive social, economic and environmental impacts	Build the Capacity of Event Organisers: Develop tools and templates to assist event organisers to build the capacity of the event industry to continue to deliver and enhance successful, sustainable and compliant events.	Economic Development and Recreation	30/06/2024	Event Toolkit was made available on Council's website in December 2023 and communications plan commenced being implemented on highlighting this resource to event managers. This included emails sent to all event managers and social media posts. Further communications will be rolled out in the coming months to steer the community towards the resource.	

STATUS

On Track

Progress
Delayed


Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.27	4.4	Develop and promote the circular economy to diversify our local economy and support our sustainability goals	Circular Hepburn: Support and transition Hepburn to a circular economy by providing support to our businesses and community, and embedding sustainable practices into Council operations, based on the three pillars of the circular economy - rethinking waste, keeping materials in circulation and regenerating natural systems.	Operations	30/06/2024	Circular Hepburn framework and road map to be released early 2024. Circular Economy Business breakfast hosted successfully November with businesses trialing Circular Economy toolkit. Community transfer station workshop completed September with a number of initiatives identified for future master planning. Aspire platform (shared business resource exchange platform) progressing well with more sign ups every month.	

STATUS

On Track

Progress
Delayed

Completed





Not Started



Cancelled

A dynamic and responsive Council

Council and the community partner to achieve their aspirations through excellent communication and engagement, the delivery of effective services, strong financial management, and governance.

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP23.30	5.3	A sustainable and agile organisation with strong corporate governance that supports excellent operations	Review of Council Services and Programs: Providing options to Councillors for undertaking service reviews of programs, and services offered by Council.	Grants and Corporate Reporting	01/04/2023	Annual Plan 22-23 Initiative has been rolled over into new annual plan action AP24.29.	
AP23.31	5.4	Improve staff resourcing, support, and capacity building	Employer Value Proposition: Develop Employer Value Proposition and tools to market HSC more effectively as an employer.		01/03/2023	With transition in the People & Culture team, delays in developing the EVP have resulted. To allow for the commencement of a new Manager People & Culture, and effective organisational consultation to build an employee lead EVP, the due date has been revised to 28 June 2024.	

STATUS



On Track

Progress
Delayed


Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.28	5.2	Actively communicate, inform and engage with our community about events and decision-making	Working Together - Delivering Better: Commence implementing the new Working Together - Delivering Better Service Strategy through the delivery of all Council staff training to enable Council to continue to improve the way we work and deliver excellent customer service.	Culture and Performance	31/03/2024	Five actions from the strategy have been actioned. They include delivery of customer interaction training sessions which offered closing the loop learning; as well as education around the boundaries that we enforce; the creation of Council contact card has been designed provided ease of contact for our community; and Policy on unreasonable behavior has been developed and put forward.	

STATUS

On Track

Progress
Delayed


Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.29	5.2	Actively communicate, inform and engage with our community about events and decision-making	Council Services Review: Prepare and undertake Service Summaries to provide insight to the cost, resources required, challenges and opportunities of each Council Service.		31/12/2023	The development of Service Summaries is completed, however the implementation of reviewing these summaries continues. Our staff have completed a service summary template for each service, which offer a comprehensive overview of the service, including its costs, relevant legislative context, and key risks and opportunities. These summaries have been shared with Councillors during a workshop prior to Christmas 2023, and Councillors will consider the data during the development of the 2024/25 Budget and updated 10-year Financial Plan.	

STATUS

On Track

Progress
Delayed



Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.30	5.3	A sustainable and agile organisation with strong corporate governance that supports excellent operations	Review of 10-year Long Term Financial Plan: Conduct a review of Council's 2021-2031 Long Term Financial Plan to ensure that Council is investing in the assets and services that reflect the communities' values.	Financial Services	31/12/2023	Review of the Long Term Financial Plan has commenced and an initial presentation was made to the Executive Team on 25 September 2023. An all day workshop was conducted with the Councillors and the Executive team on 27th November with a follow up session on 5 December at Council Briefing. This has provided an overview of assumption and levers available to influence the LTFP. Further sessions will be held during the first six months of 2024 (in line with budget development) and the LTFP will be adopted in June 2024.	
AP24.31	5.3	A sustainable and agile organisation with strong corporate governance that supports excellent operations	Cyber Security Enhancements for Council: Deliver a suite of ICT enhancements to provide greater security over Council's day-to-day operations.	ICT	30/04/2024	Work has commenced on the Cyber Security project with several activities on-track for completion prior to the end of the financial year that will improve our cyber stance and VDPSF compliance. ICT and Governance departments are working on this project as a joint initiative.	

STATUS

On Track

Progress
Delayed


Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.32	5.2	Actively communicate, inform and engage with our community about events and decision-making	Risk Management Framework Implementation: Undertake a review of Council's risk management policies and practices and establishment of updated Risk Registers.	Governance and Risk	30/06/2024	Risk Management Framework Implementation is underway. Strategic and Operational Risk Registers are in draft, with staff training planned for March 2024.	
AP24.33	5.5	Strong asset management and renewal	Staff Accommodation and Community Facilities: Undertake scoping and planning of staff accommodation and Birch Ward facilities.	Projects	31/03/2024	The staff accommodation project is currently in the planning stage; the project has been divided into three stages—short, medium, and long-term. The short-term is planned to be completed in Dec/2023.	

STATUS

On Track

Progress
Delayed


Completed



Not Started



Cancelled

Action Code	Council Plan Priority Ref.	Priority Statement	Annual Plan Strategic Action	Business Unit	Due Date	Progress Update	Status
AP24.34	5.6	Be a leader in gender equality and equity and promote respect and safety in our community	Gender Equity: Continue to implement Council's Gender Equity Plan with a focus on embedding an inclusive culture that respects diversity by providing a safe workplace for Council Staff and ensuring that we have transparent, fair and gender diverse recruitment practices.	Culture and Performance	30/06/2024	This is a continuous process. Gender Impact Assessment Training for leadership and Management Group completed in September 23. Audit report due in February 2023 and will inform further actions required.	

STATUS

On Track

Progress
Delayed

Completed



Not Started



Cancelled

11.4 INSTRUMENTS OF APPOINTMENT TO AUTHORISED OFFICERS UNDER THE PLANNING AND ENVIRONMENT ACT 1987 DIRECTOR COMMUNITY AND CORPORATE

In providing this advice to Council as the Coordinator Governance, I Dannielle Kraak have no interests to disclose in this report.

ATTACHMENTS

1. S11A Instrument of Appointment and Authorisation Planning and Environment [11.4.1 - 2 pages]

OFFICER'S RECOMMENDATION

That Council, in the exercise of the powers conferred by s 147(4) of the Planning and Environment Act 1987, resolves that:

- a. The members of Council staff referred to in the instrument attached be appointed and authorised as set out in the instrument.*
- b. The instrument comes into force immediately it is signed by Council's Chief Executive Officer, and remains in force until Council determines to vary or revoke it.*

EXECUTIVE SUMMARY

The appointment of authorised officers enables appropriate staff within the organisation to administer and enforce various Acts, Regulations or Council local laws in accordance with the powers granted to them under legislation or a local law.

Instruments of Appointment and Authorisation are prepared based on advice from the Maddocks Authorisations and Delegations Service, which Council subscribes to.

Whilst the appointment and authorisation of authorised officers under other relevant legislation is executed by the Chief Executive Officer under delegation, Maddocks recommend that officers enforcing the *Planning and Environment Act 1987* be authorised by Council resolution.

This instrument is being updated to reflect staffing changes.

BACKGROUND

Instruments of Appointment and Authorisation empower relevant staff to exercise the powers granted to authorised officers by legislation, regulations or a local law.

The Instruments of Appointment and Authorisation prepared for Council's consideration are based on advice from the Maddocks Authorisations and Delegations Service.

Whilst the appointment and authorisation of authorised officers under other relevant legislation is executed by the Chief Executive Officer under delegation,

Maddocks recommend that officers enforcing the *Planning and Environment Act 1987* be authorised by Council resolution.

Maddocks recommends that Council to execute the appointment and authorisation of authorised under the *Planning and Environment Act 1987* because the Act places limitations on what powers can be sub-delegated, so by delegating direct from Council, the risk of decisions being challenged on the basis that the delegation was not appropriate is mitigated.

The instruments have been prepared following consultation with the internal departments of Council and have been recently updated to reflect staffing changes. Powers are delegated to individuals, not positions.

KEY ISSUES

Planning and Environment Act 1987

There are no legislative changes to the authorisation under the *Planning and Environment Act 1987*. The instrument has been updated in line with staff appointments.

Powers are delegated to individuals, not positions.

COUNCIL POLICY AND LEGISLATIVE IMPLICATIONS

Council Plan 2021-2025

A dynamic and responsive Council

5.3 A sustainable and agile organisation with strong corporate governance that supports excellent operations

FINANCIAL IMPLICATIONS

There are no financial implications associated with this report.

COMMUNITY AND STAKEHOLDER ENGAGEMENT

Council subscribes to the Maddocks Authorisations and Delegations Service, and relevant advice has been considered in the preparation of this report.

For transparency purposes, Council is required to prepare a register of Instruments of Appointment to Authorised Officers and Delegations on Council's website.

RISK AND GOVERNANCE IMPLICATIONS

Instruments of authorisations allow the business of Council to continue and operate effectively.

ENVIRONMENTAL SUSTAINABILITY

There are no sustainability implications associated with this report.

GENDER IMPACT ASSESSMENT

There are no gender equity implications associated with this report.

S11A Instrument of Appointment and Authorisation (Planning and Environment Act 1987)

Hepburn Shire Council

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987* only)**

In this Instrument 'officer' means –

**Ron Torres – Executive Manager Development
Amy Boyd–Manager Planning and Building
Bronwyn Southee – Manager Strategic Planning
Nicola McGowan – Coordinator Major Projects and Policy
Mish Watt – Coordinator Statutory Planning
Matt Rogers – Principal Strategic Planner
Chris Hu – Statutory Planner
Alexandra Jefferies – Senior Statutory Planner
Lucy Kanellos – Statutory Planner
Andrew Littlejohn - Administration Officer - Strategic Planning
Natalie Faulkhead - Administration Support Statutory Planning
Tegan Tinetti – Business Support Officer
Peter Ford – Development Services Enforcement Officer**

By this instrument of appointment and authorisation Hepburn Shire Council -

1. under s 147(4) of the *Planning and Environment Act 1987* - appoints the officers to be authorised officers for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and
2. under s 313 of the *Local Government Act 2020* authorises the officers either generally or in a particular case to institute proceedings for offences against the Acts and regulations described in this instrument.

It is declared that this instrument -

- (a) comes into force immediately upon its execution;
- (b) remains in force until varied or revoked.

This instrument is authorised by a resolution of the Hepburn Shire Council on xx September 2023

This Instrument is made by the Chief Executive Officer of Hepburn Shire Council in the exercise of his authority to act on Council's behalf, which includes the authority conferred by resolution of Council made on XX February 2024



**Bradley Thomas
Chief Executive Officer
Hepburn Shire Council**

Date: XX February 2024

12 CONFIDENTIAL ITEMS

12.1 CLOSURE OF MEETING TO MEMBERS OF THE PUBLIC

Pursuant to section 66(1) of the *Local Government Act 2020* (the Act) Council or delegated committee must keep a meeting open to the public unless the Council or delegated committee considers it necessary to close the meeting to the public because a circumstance specified in subsection (2) applies.

The circumstances detailed in section 66(2) of the Act are:

- a) the meeting is to consider confidential information; or
- b) security reasons; or
- c) it is necessary to do so to enable the meeting to proceed in an orderly manner.

RECOMMENDATION

That in accordance with sections 66(1) and 66(2)(a) of the Local Government Act 2020, the meeting to be closed to members of the public for the consideration of the following confidential items:

1.1 LEAVE OF ABSENCE

- *Because it is personal information, being information which if released would result in the unreasonable disclosure of information about any person or their personal affairs;*
- *The ground applies because it is in consideration of a Councillor's leave.*

13 CLOSE OF MEETING